

division III
residential guidelines

Introduction

The development of exceptional quality and character residential areas should be seen as an opportunity to create new neighborhoods that are reminiscent of the best assets of established Long Beach Neighborhoods: tree-lined streets with their intimate scale and lush landscape, along with well designed neighborhood parks, will be the armature for this pedestrian-scaled community. The location of a mixed use zone in the form of a traditional “Main Street” will provide convenient services and shopping that reinforce walkability in this new community.

Some master planned communities have tried to enforce rigid architectural rules to promote traditional styles of architecture. While traditional styles associated with historic Long Beach neighborhoods are not discouraged, the desired outcome of these guidelines is not to create a homogeneous character; instead, the intent is to encourage a range of appropriate, site specific solutions that reflect the climate, the setting, and the careful attention to context, both within the project and the adjacent land uses.

General Residential Landscape & Design Guidelines

Landscape plays an important role in contributing to the overall character of the residential area at Douglas Park. The intent is to recall the successful qualities present in traditional Long Beach neighborhoods while reflecting the unique landscape of Southern California.

Landscape guidelines that apply to all residential sub areas are as follows:

Walls and Fences

The goal is to minimize the need for walls at Douglas Park and to maintain a visually open character except where walls are required for sound attenuation or needed for privacy and security.

- Plant material or “hedge” fences are preferred over walls. (See Figure 27a).
- Walls, retaining walls, and fencing shall be constructed of material, finish, and color complimentary of the building architecture.
- Wall caps are encouraged.
- Prohibited materials include: chain link, grape stake, glass, cribwall, railroad ties and the like.
- Trees, shrubs, and vines shall be planted to screen and beautify perimeter walls and discourage graffiti. (See Figure 27b).
- Pilasters shall be used at changes in wall direction and wall type.



a : Plant material or hedge fences are preferred over walls.



b : Trees, shrubs, and vines shall be planted to screen and beautify perimeter walls and discourage graffiti.

Figure 27 : Residential Wall and Fence Images

Paving

Paving design is important in reinforcing the character of the community. The intent is to create a sense of quality while enhancing the pedestrian and vehicular experience. Paving elements include, but are not limited to: walkways, entry walks, steps, courtyard paving, and recreation area decks. These elements occur outside of the public right-of way.

- Paving finishes should complement the architectural style of buildings.
- Enhanced paving is encouraged, which may include: stone, brick, pavers, exposed aggregate, and colored and textured concrete.
- Finishes imitative of other materials, such as stamped concrete are discouraged.
- Paving should be designed to enhance the relationship between the building and landscape.
- Paving should be designed as an extension of the building architecture.
- Paving areas visible from public view should receive an enhanced finish and scoring.
- Enhanced paving is encouraged, which may include stone, brick, pavers, exposed aggregate, colored, and textured concrete. (See Figure 28).



Enhanced paving is encouraged, which may include: stone, brick, pavers, exposed aggregate, and colored and textured concrete.

Figure 28 :Hardscape Character Image

Irrigation

The intent of the irrigation criteria is to encourage efficient use of water resources while maintaining the character of the community.

- All landscaped areas are to be irrigated by a permanent automatic irrigation system.
- Irrigation design shall incorporate environmental considerations such as: plant material, sun, shade, soils, wind, and percolation rates.
- Moisture sensing and rain shut off devices are encouraged.
- Above ground irrigation devices such as backflow preventers and irrigation controllers are to be completely screened from off site views.
- Valve boxes are encouraged to be located in planting areas.
- Reclaimed water shall be used except in locations prohibited by code such as, adjacent to swimming pools.
- Irrigation systems should be designed considering pedestrian safety and property damage.

Planting Design

- Planting design should complement the architectural style, scale, and density of the adjacent buildings.
- All buildings shall have continuous shrub foundation plantings.
- Vertical evergreen trees should be used to screen and soften architecture.
- Evergreen, deciduous, and flowering trees should be used as accents.
- Ensure trees do not conflict with light standards to ensure proper light coverage. Planting shall comply with the Long Beach Municipal Code (LBMC Section 14.28.020).
- Flowering perennial and shrubs are preferred over annual color. Annual color should be reserved for accent areas only.
- Planting which requires low amounts of supplemental water is encouraged.
- Planting design shall consider the ultimate size of the plant material.

- Planting design shall consider water usage and maintenance needs.
- Parkways are to be planted and sodded with turf. Seeded turf is not allowed.
- Refer to the Plant Palette for suggested plant material. (See appendix).

Screening

Screening of visually undesirable objects is required. Methods of screening may include masonry walls, overhead trellis, and landscape planting of evergreen material. The below items must be screened from off site views:

- Mechanical equipment such as air conditioners.
- Equipment such as backflow preventers and controllers.
- Utilities such as transformers and meters.
- Trash containers.
- Parking areas and parking garages should be thoughtfully planned and attractively designed.

Exterior Lighting

The intent of the lighting criteria is to provide safety while enhancing night time community character.

- Light sources should be concealed and indirect.
- Exposed fixtures should be selected to relate to the architectural character.
- Landscape lighting should be limited to accents and pathways.
- Exposed bulbs are prohibited.
- Light fixtures mounted on top of pilasters are discouraged.
- Security lights on motion detectors are discouraged.

Maintenance

The intent of the maintenance guidelines are to encourage a safe, clean, and healthy condition at all times:

- Trees should be maintained to allow for proper light distribution of adjacent light standards.
- Maintenance such as weeding, fertilization, mowing, pruning, light fixture maintenance, irrigation system maintenance, and trash removal shall occur on a regular schedule.
- Dead or poorly performing plant material is to be replaced once it is discovered.
- Graffiti shall be painted out within in 24 hours.
- Pruning is encouraged to retain the natural form of plant material. Topiary is discouraged.

Mailboxes

- Mail box design should reinforce the character of the architecture

Single-Family Detached District (Sub Area 4)

This portion of the residential community within PD-32 is single family detached residential district with moderate sized lots. A majority of these lots will be a minimum size of 4,500 square feet with the remainder being a minimum size of 3,500 square feet. This detached residential district will be based on the scale and character of traditional Long Beach neighborhoods (See Figure 29), and will feature alleys for garage access to carry out the project goal of reducing garage door visibility and enhancing architectural character on local streets. A two-story height limit has been established for these districts, in keeping with the scale found in many historic Long Beach residential communities. One-story elements and front porches will be permitted to encroach into front setbacks to promote a pedestrian-friendly quality to the neighborhood. At least 50 percent of the homes must feature front porches or front patios/courtyards to promote street life and pedestrian activity.





Figure 29 : Single-Family District - Characteristics of Traditional Long Beach Neighborhoods

Building Orientation

In order to promote traditional neighborhood character, and to reinforce the character and quality of walkable streets, buildings should provide orientation and access toward the street and the parks. Provide “eyes on the streets and parks”. (See Figure 30).

- Locate the main dwelling unit entrance facing the primary street frontage. (See Figure 31).
- Raise first floor eighteen to twenty-four inches above adjacent grade (while accommodating visibility and access).
- Clearly define the primary entrance by using a raised porch and stoop.
- Locate activating functional components of the residential unit (such as living rooms, dining rooms, and family rooms) facing the street. (See Figure 31).
- Corner lots should recognize frontage on both streets i.e. wrap-around porch, or other architectural device. (See Figures 31 and 32).
- Front yard should wrap around corner lots. On such lots, side yard fences above three feet high on frontage facing the street will only be allowed through Site Plan Review. (See Figure 30).

Front Yard

Front yards provide a transition between public and private spaces, and a place for interaction between residents.

- Buildings should maintain a consistent front yard setback with limited encroachment for porches. See PD-32 Development Standards for specific standards. (See Figure 32).
- Established Long Beach neighborhoods do not have a tradition of walls or fences on front yard setbacks. If low walls or fences are used, these should be designed to be compatible with the buildings in terms of style and materials. Chain link, masonry, and tall opaque fences will not be allowed.
- Design front walks with simple and direct connections between the sidewalk and the front entry.

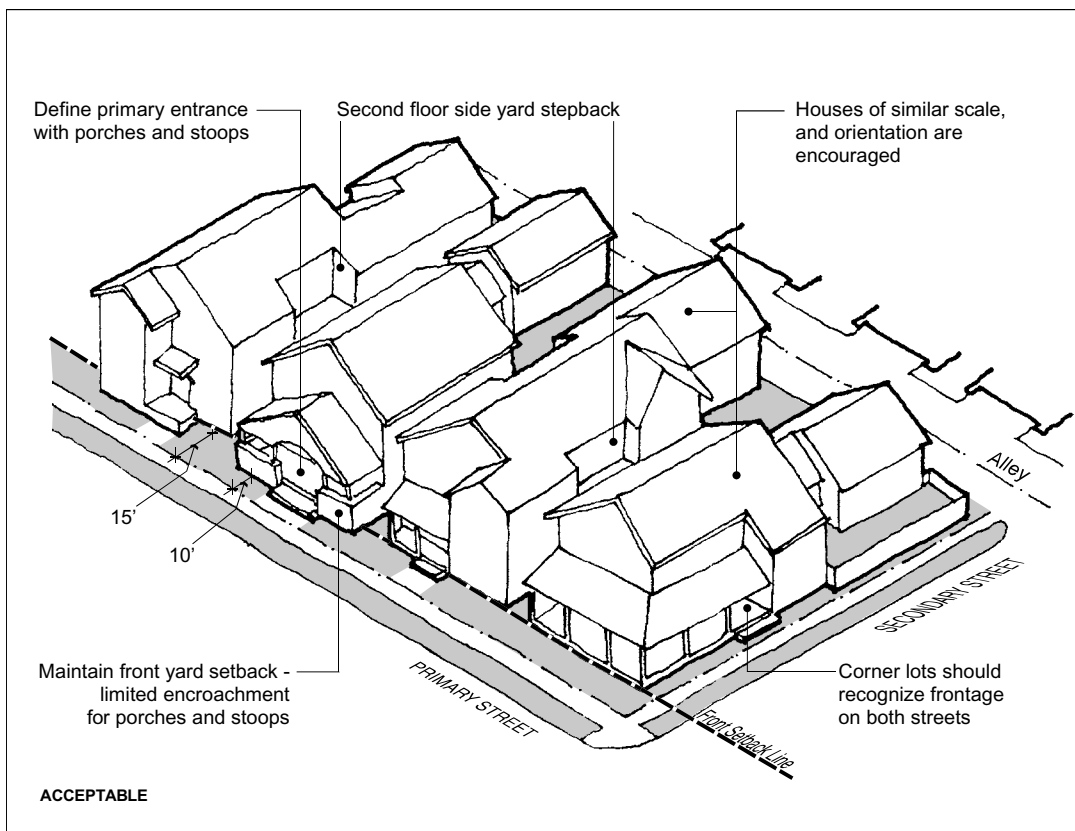
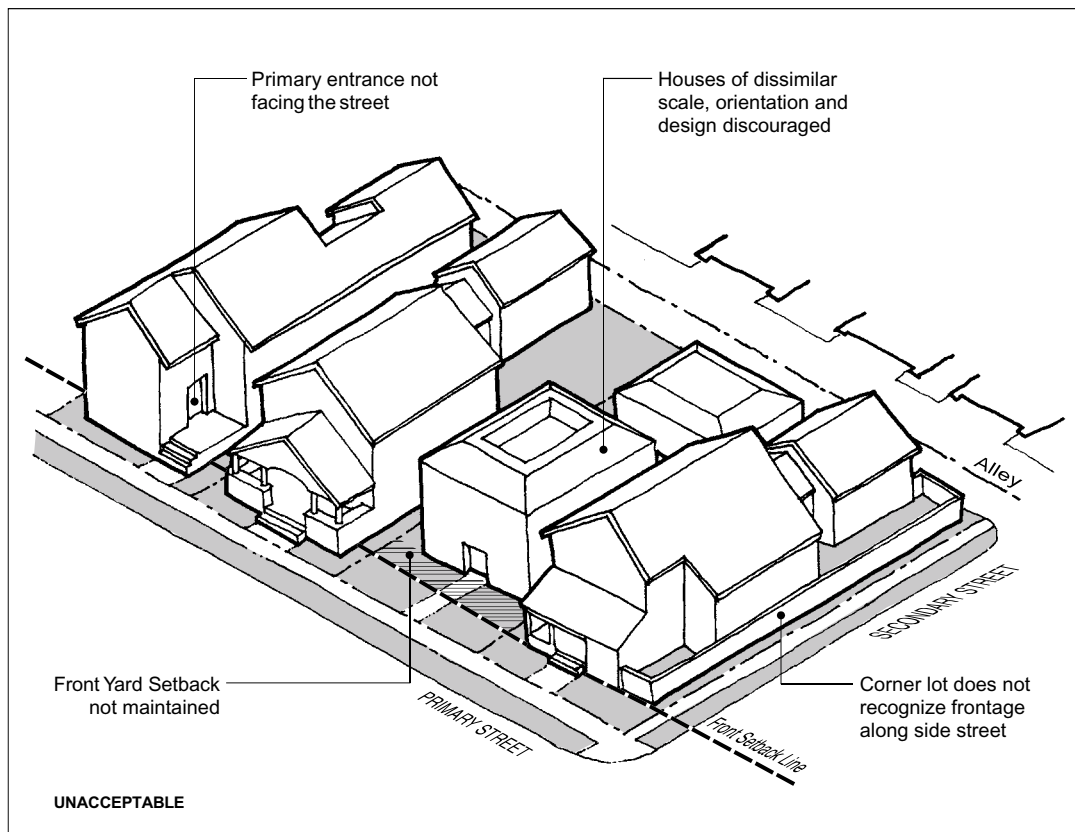


Figure 30 : Single-Family District - Building Orientation and Front Yard Conditions

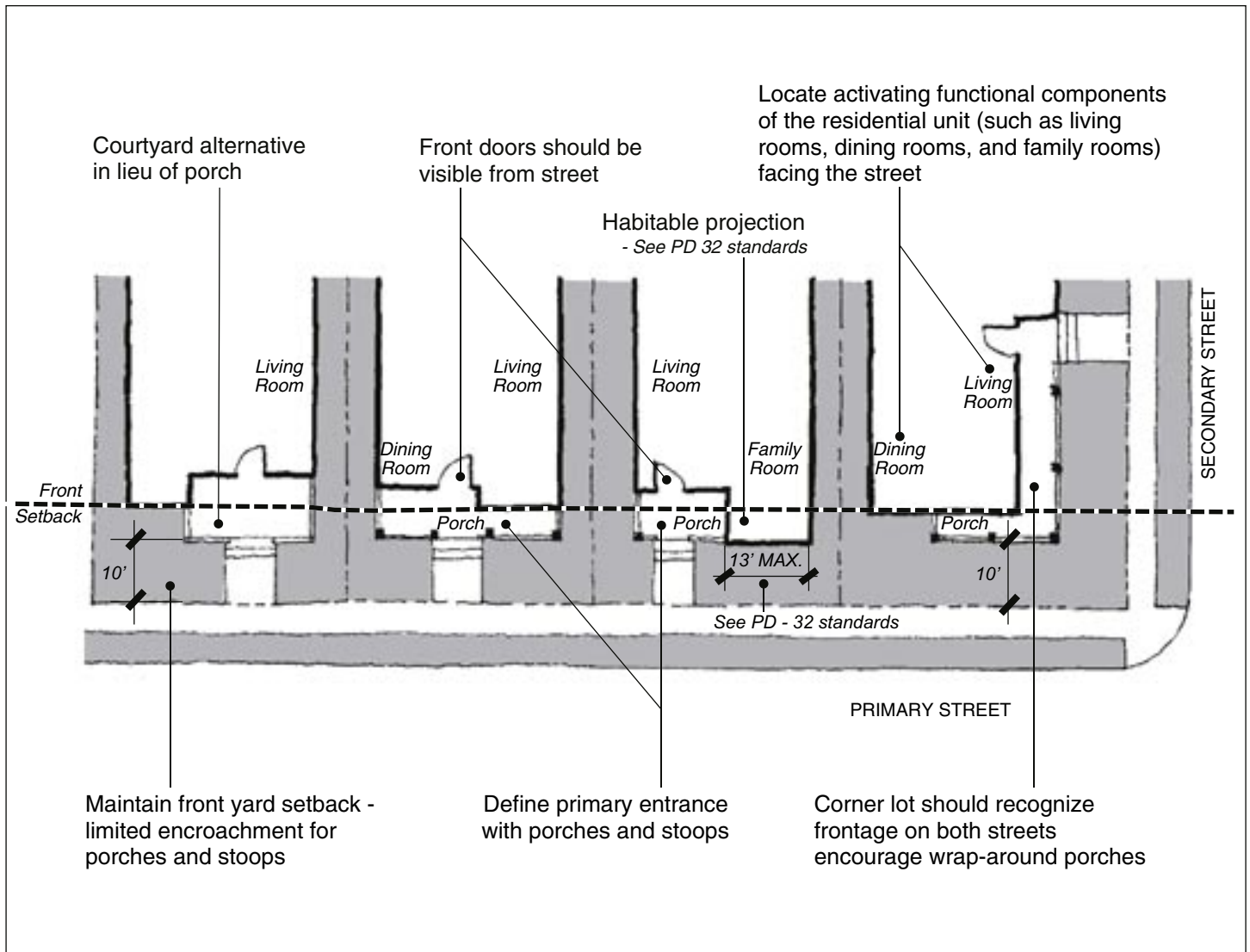


Figure 31: Single-Family District -Plan showing porches, entrances and side-yard setbacks

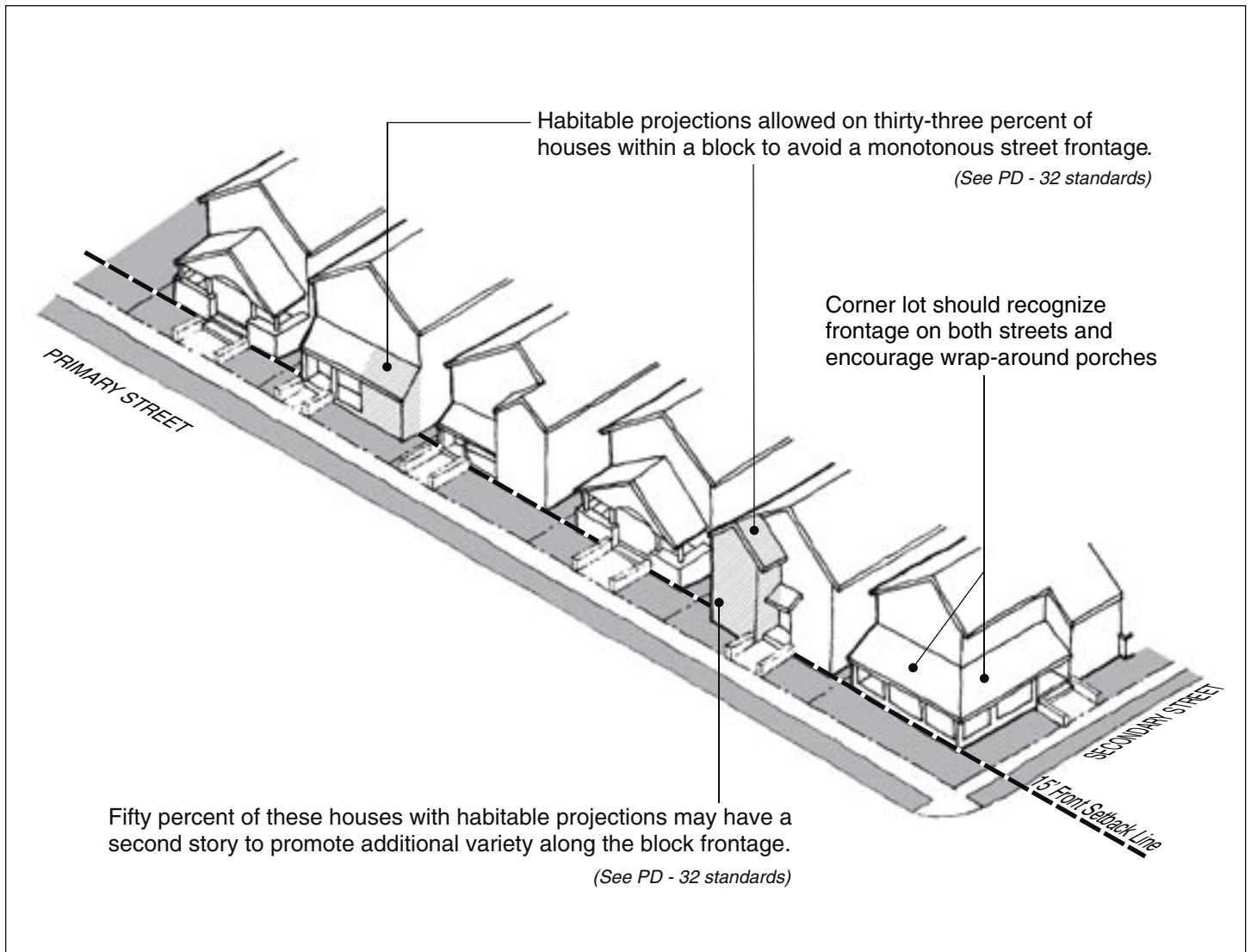


Figure 32: Single-Family District - Frontage conditions showing permitted habitable projections

Parking Garages / Alley Conditions

Alleys will provide access to parking while maintaining pedestrian friendliness of streets. (See Figure 33).

- Garages may be a maximum of two spaces wide. In the event that the garage is a separate building, such structure should be designed with the same level of care and quality of the main building. (See Figure 34).
- Habitable spaces over garage should be designed to “keep eyes on the alley” – no blank walls. (See Figure 34).
- Store trash and utilities in enclosures that are architecturally compatible with the project and easily accessible to trash collection trucks.
- Provide sense of security in alley through night lighting and reduction of niches.

Alleys provide access to parking and service with habitable spaces over garages



Figure 33: Single-Family District - Alleys Conditions

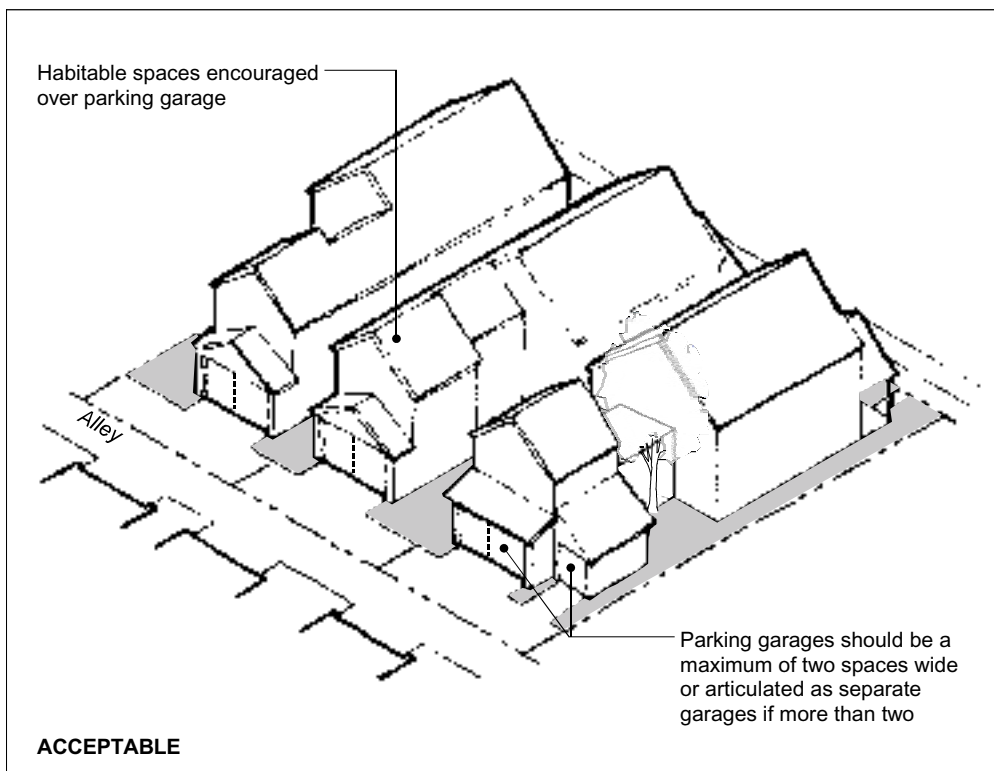
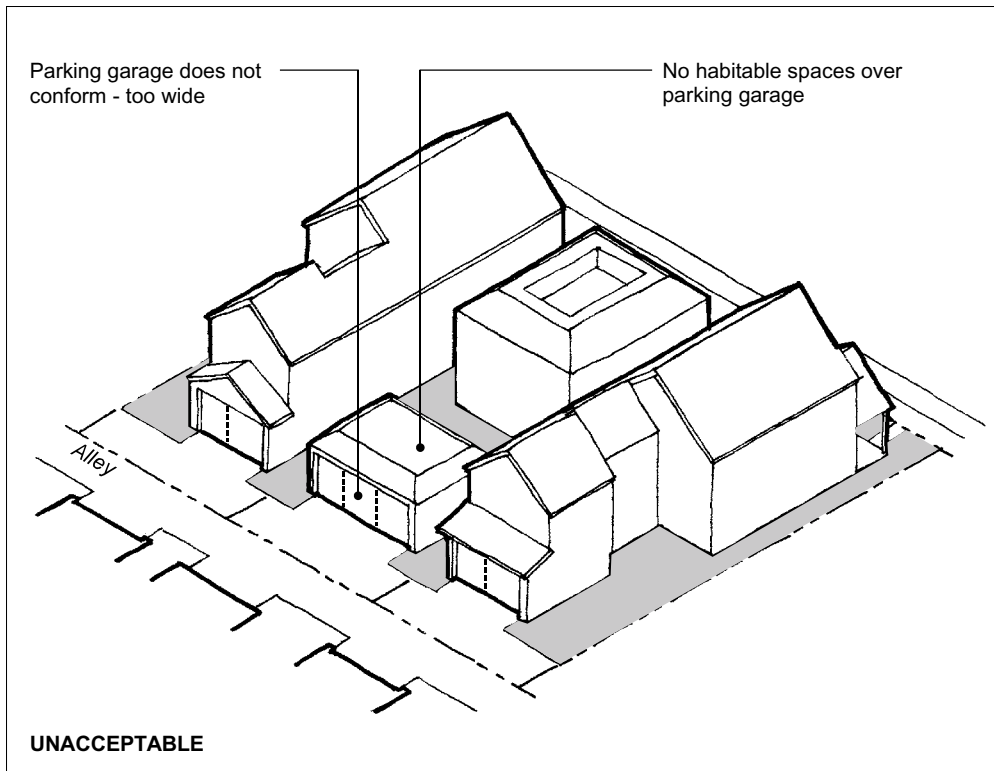


Figure 34 : Single-Family District - Parking Garages with Habitable Spaces Above

Rear Yards

- Following the design of most traditional single-family Long Beach neighborhoods, rear yards and patios are encouraged as the primary usable open space area for unit.

Side Yard Setback

While the primary purpose of side yards is to provide light and air, as well as fire and privacy separation between adjacent buildings, they should also be thought as an opportunity to provide usable open space for the unit.

- Side yards should not be treated simply as leftover spaces. They should be integrated in the overall open space for the unit.
- In special cases, and for the purpose of enhancing usable open space, reciprocal easements for side yards may be allowed through Site Plan Review

Porches and Entrances

Porches and expressed entrances will provide human scale along the street frontage, and will contribute to enhance the character of the streetscape. (See Figure 36). Refer to PD-32 Standards for minimum porch sizes.

- Front door or porch should be visible from street.
- Entry doors should be recessed a minimum of 18 inches from front facade.
- Porches are unglazed roofed structures, which should be designed as an integral part of the architectural vocabulary of the building.
- Roofs should be supported by posts; cantilevered coverings do not constitute porches.
- Design stoops as an integral part of the entry/ porch. Free-standing railings are discouraged. (See Figure 35).
- Porch posts and railings should be substantial in appearance. Posts should be at least 6 inches in width (nominal dimension of standard framing materials will meet the intent of this provision). (See Figure 35).
- Metal railings may be used when appropriate to a particular design style.
- Side entry doors are discouraged, except for entries facing side street on corner lot.

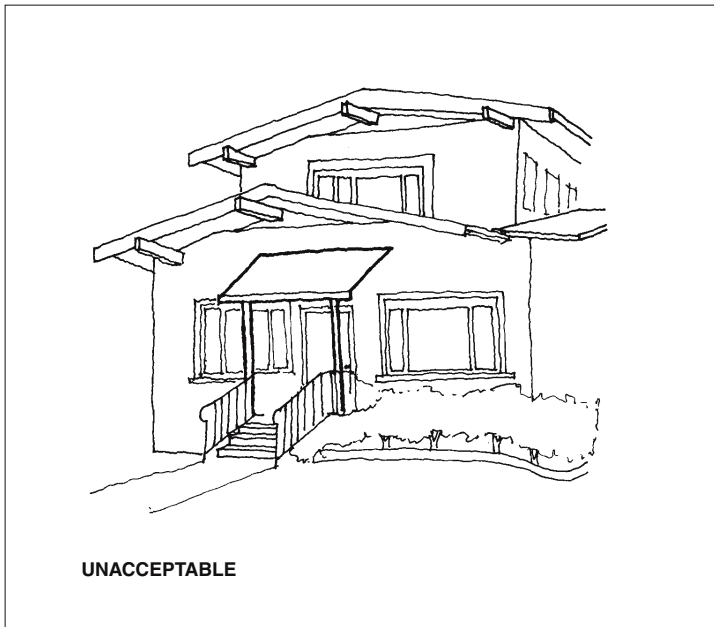


Figure 35 : Single-Family District - Porch and Stoop Conditions



Front door or porch should be visible from the street

Figure 36 : Single-Family District: Porches and Entrances

Fenestration

Well designed fenestration will be a key factor in establishing a high quality environment, and will provide for “eyes on the street”.

- Face largest window opening to the street. (See Figure 38).
- Align fenestration between floors wherever possible. (See Figure 38).
- Fenestration should be used to create depth and articulation on the facade – no flat walls with flush aluminum windows. A minimum 4 inch recess for windows is encouraged.
- Discourage alignment of side yard windows between homes.
- Double hung and casement wood windows are preferred. True divided lites are preferred.
- All glazing within the facade should be clear, untinted glass.

Facade Articulation

Form and scale architectural elements will provide human scale, interest, and variation in the streetscape.

- All facades of a home, including side and rear facades, should have the same vocabulary of forms, details and materials.
- Larger wall and roof planes should include 3-dimensional design features such as chimneys, balconies, bay windows or dormers.
- Each block frontage should include a variety of one and two story elements. Use porches and balconies to break massing. (See Figures 37 and 38).
- Step backs of a minimum of one third of the length of the second floor on side yards are encouraged to avoid narrow 2-story corridors. Such stepback should be a minimum of 5 feet.



Examples of single-family detached dwellings showing variations in facade articulation and massing

Figure 37 : Single-Family District - Articulation & Massing

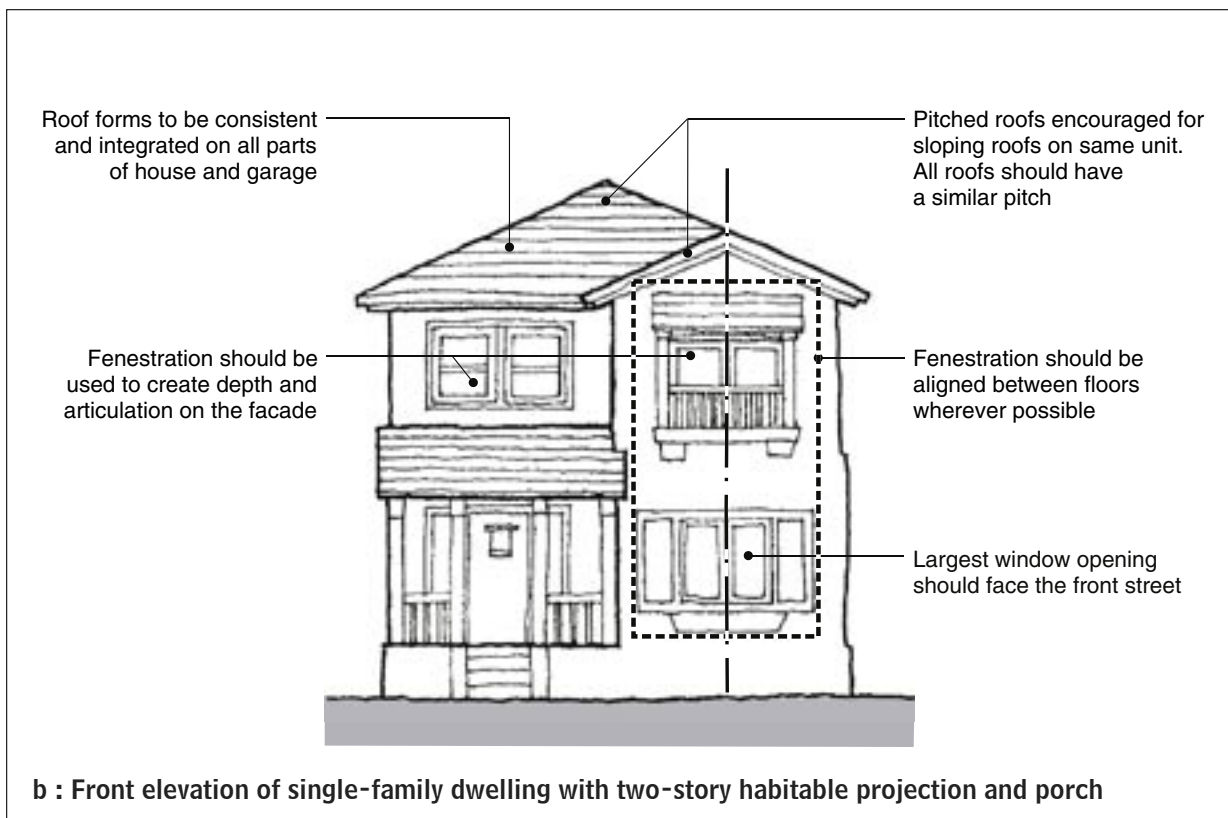
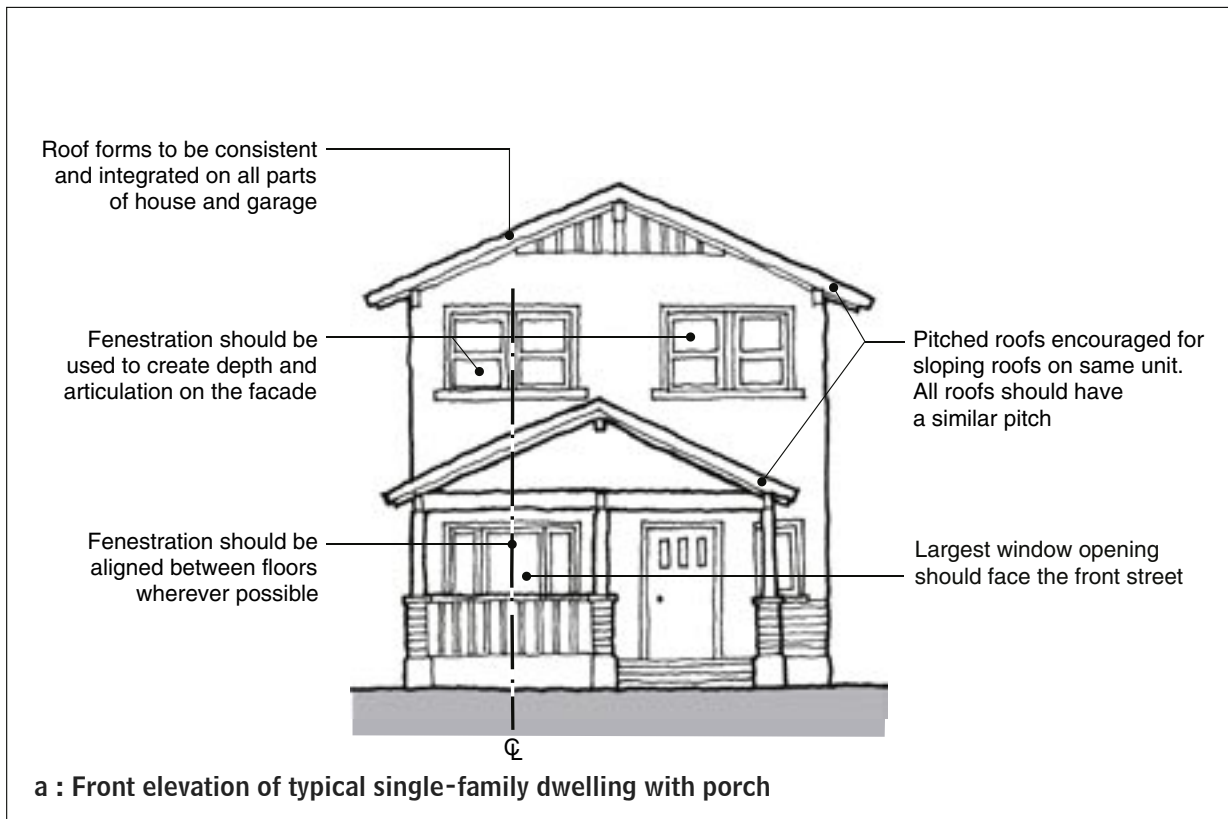


Figure 38 : Single-Family District - Facade Articulation and Fenestration

Roof Form

Roof design is a factor that defines high quality, orderly, and regular street environments.

- Pitched roofs are encouraged for single-family homes.
- Flat roofs may be allowed only through the design review process.
- Roof forms should be consistent and integrated on all parts of house and garage. For sloping roofs on same unit, all roofs should have a similar pitch. (See Figure 39a).
- Roofs should not be designed as attention-getting devices.
- Roof materials should be compatible with the architectural style of the building. Materials such as concrete or clay tile, slate, fireproof wood shingles, and similar high quality materials are preferred. Roof materials with minimal thickness qualities such as composite tiles and metal may be considered if appropriate to the building vocabulary.

Variety of Product / Architectural Styles

Traditional Long Beach neighborhoods have provided a variety of architectural styles (See Figure 39b). New developments should be reflective of such tradition, and should have architectural features that provide richness in textures and patterns.

- Architectural references to traditional Long Beach historic styles such as Craftsman, Mission, Italian Renaissance and Spanish Colonial Revival should be genuine and should include the attention to detail that such approach demands.
- Variation in architectural styles is encouraged. See PD-32 for Development Standards.
- Block frontages should include at least five to six distinct variations (in plan and elevation) plus one or more variation for corner lots.
- Homes of the same model may not appear on abutting lots.



a : Roof Forms Should be Consistent and Integrated on all Parts of the House.



b : Block Frontage Should Include at Least five-to-six Distinct Variations

Figure 39 : Single-Family District - Roof Form and Architectural Styles

Materials & Color

Materials should convey an image of quality and durability and high levels of craftsmanship. They should be able to retain their appearance over time. (See Figure 40).

- Use quality materials such as smooth trowel finish painted stucco, shiplap, board and batten wood siding, stone and brick found in many traditional Long Beach residential neighborhoods.
- Materials that convey an inherently inexpensive or simulated look are not desired.
- Changes of wall materials should be integral to the architectural vocabulary of the building forms and not arbitrary or cosmetically applied. Changes in material should generally occur at inside corners, as a return of at least four feet from an external corner, or accommodated through architectural detail such as cap or change in plane. (See Figure 41).
- Painted surfaces should use colors that reinforce architectural concepts and are compatible with natural materials used in projects.
- Thickness and width of all exterior surrounds and trim pieces should have a direct proportional relationship to the architectural features of the building.



Traditional materials used to convey an image of quality and durability

Figure 40 : Single-Family District - Use of Materials

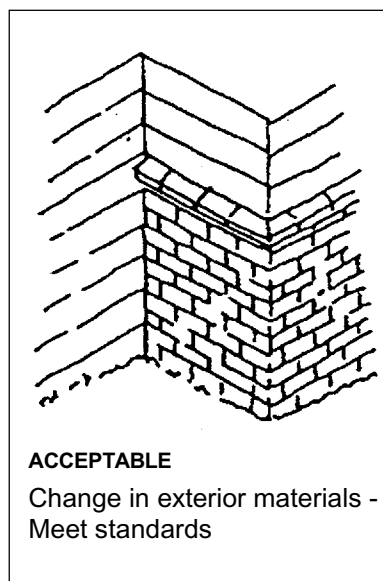
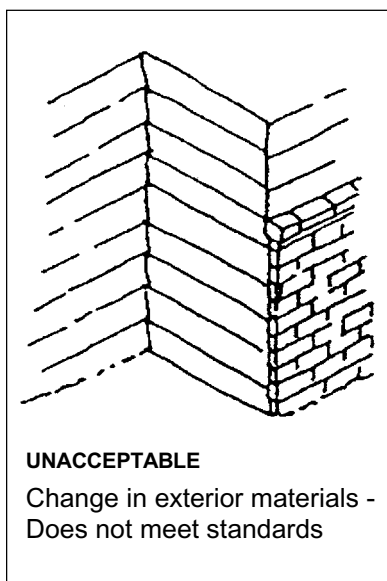


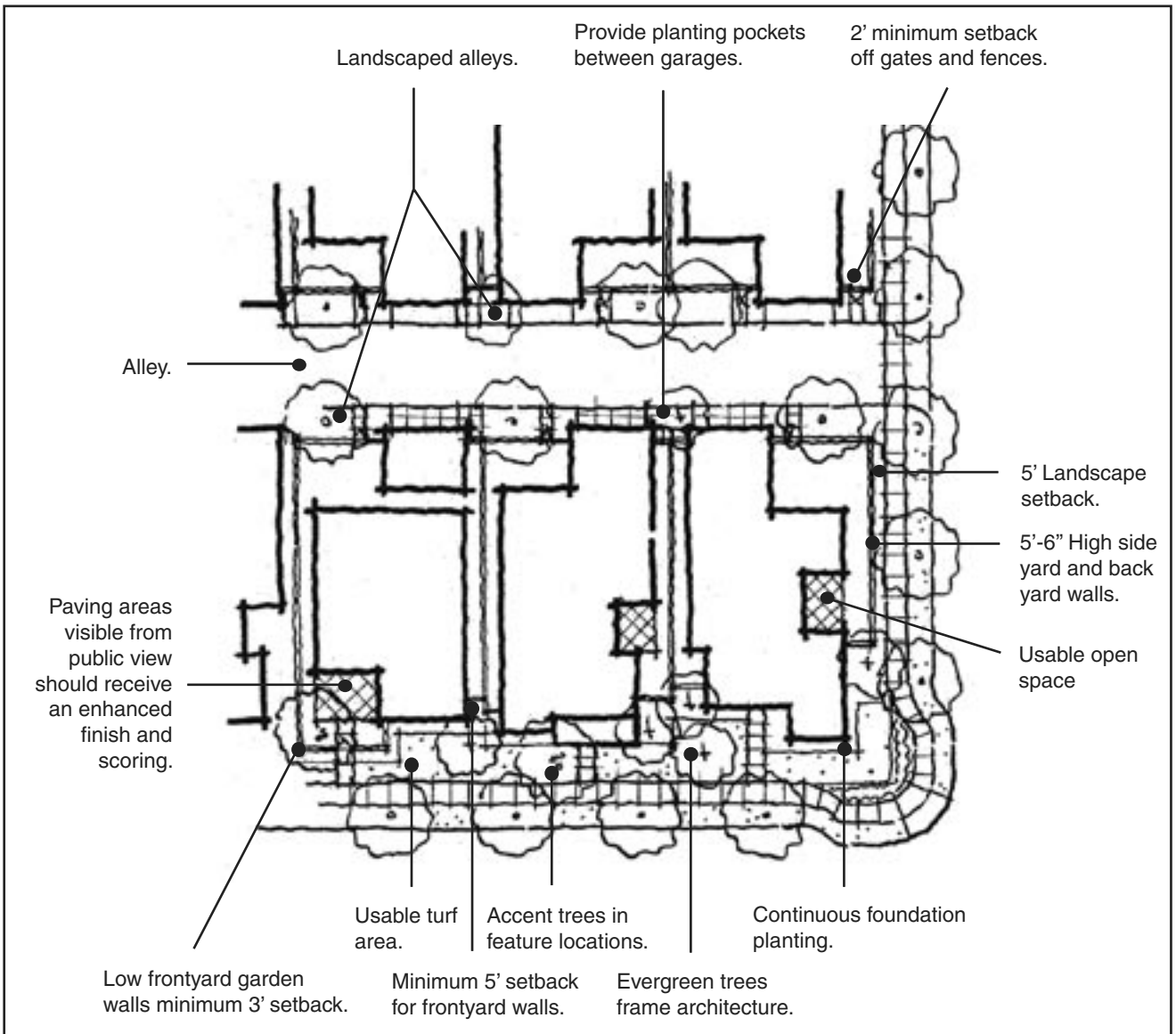
Figure 41 : Single-Family District - Change in Materials

Landscape Guidelines

The below criteria are specific requirements related to Single Family Residences.

Walls and Fences

- Side yard gates and walls shall be setback from building faces. Minimum setback from building face in front yards is 5'. Minimum setback from building face in alleys is 2'.
- All side and rear walls shall be constructed of masonry. The color and finish shall compliment the adjacent architecture.
- Wood fencing is not permitted for side and rear yard walls.
- Frontyard garden walls and fences shall be setback from the sidewalk a minimum of 3' to allow for landscaping and will be low in height (maximum 3'). (See Figure 42).
- Side yard and rear yard walls are to be a maximum of 5'-6" in exposed height except at retaining wall conditions where a maximum of 8'-6" is permitted from highest side.
- Side yard walls shall be setback from sidewalk a minimum of 5' at corner lots. (See Figure 42).
- Front yard walls and fences are discouraged on corner lots to create a visually open character.



This plan represents a potential design solution. The actual design may vary.

Figure 42 : Single-Family District - Landscape Plan

Planting

- Provide planting pockets between garages in alleys to accommodate 15 gallon plant material.
- Alleys shall be landscaped with trees, shrubs, vines, and groundcovers.
- One 24" box tree minimum is encouraged per home in the front yard. Tree location shall be carefully considered in relationship to street tree location.
- Shrubs shall be minimum 10% 15 gallon; 60% 5 gallon; and 30% 1 gallon.
- Shrub planting areas shall be 3' minimum width.
- Evergreen trees should frame the building architecture. (See Figure 43).
- Evergreen, deciduous, or flowering accent trees should be installed in feature locations.
- Turf areas should be designed to be large enough to be usable. (minimum 150 sf)
- Refer to plant palette for suggested plant material. (See appendix).

Usable Open Space (courtyards)

- One larger open space is encouraged as opposed to multiple smaller spaces.
- Open space is encouraged to be designed to be usable (8' minimum). See PD-32 Development Standards for specific standards.



a. Evergreen trees should frame the building architecture.



b. Provide planting pockets between garages in alleys to accomodate 15 gallon plant material.

Figure 43 : Single-Family District - Planting Images

Row House District (Sub Area 2)

As a transition from commercial activity and higher density uses along Lakewood Blvd., residential uses within Planning Sub-Area 2 are envisioned to feature street-oriented row houses. These row houses are envisioned to capture the spirit of urban living while including features such as rear garages and private yard areas that are intended to offer a lifestyle similar to single-family residences. Each residence is envisioned to have a front door “stoop” on local streets to enhance neighborhood qualities and pedestrian activity (See Figure 43b). The street character is envisioned to be generally urban with two- and three-story residences maintaining the street edge (See Figure 44a). Third floors will have greater street setbacks to promote pedestrian scale structures and massing elements. In keeping with the modern versions of this building type, architecture within this district is encouraged to feature a degree of uniformity coupled with subtle use of massing relief, and use of multiple materials and color. Given the urban nature of this district, use of materials such as integral color architectural concrete, fully backed metal panels, masonry, and other such desirable enhanced finishes is highly encouraged.



a : Example of row house dwellings defining the street edge



b : Example of row house dwellings with entry stoops

Figure 44 : Row House District - Architectural Character

Building Orientation

In order to promote traditional neighborhood character, and to reinforce the character and quality of walkable streets, buildings should provide orientation and access toward the street and the parks. Provide “eyes on the streets and parks”

- Locate primary entrance facing the primary street frontage. (See Figure 45).
- Raise first floor eighteen to twenty-four inches above adjacent grade.
- Clearly define the primary entrance by using a raised porch and stoop. (See Figure 45).
- Entries should be entirely integrated into the main building, and not be designed as projections.
- Locate activating functional components of the residential unit (such as living rooms, dining rooms, and family rooms) facing the street (See Figure 48).
- Corner lots should recognize frontage on both streets i.e. wrap-around porch or similar architectural elements.

Front Yard

Front yards provide a transition between public and private spaces, and a place for interaction between residents.

- Buildings should maintain a consistent front yard setback with limited encroachment for stoops, porches and courtyards. See PD-32 Development Standards for specific standards. (See Figures 45 and 48).
- Traditional “row house” units do not have walls or fences on front yard setback, and therefore should be avoided. With the exception of stoops, projections from the street facade are not desirable. (See Figures 45 and 48).
- Design front walks as simple and direct connections between the sidewalk and the front entry.

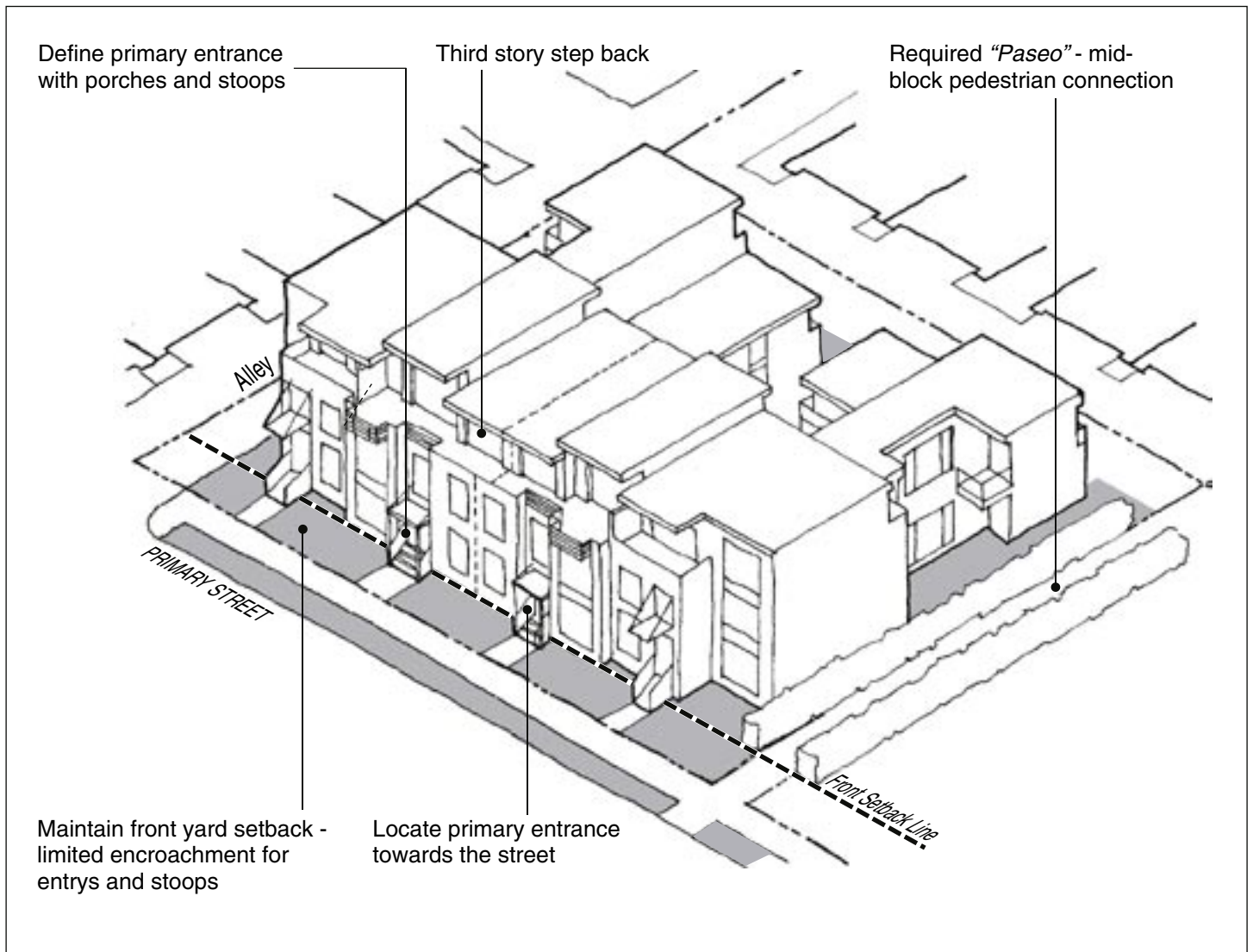


Figure 45 : Row House District - Building Orientation and Frontage Conditions

Parking Garages / Alley Conditions

Alleys will provide access to parking while maintaining pedestrian friendliness of streets (See Figure 46).

- Parking garages should be designed as an integral part of the home. In the event that the garage is a separate building, such structure should be designed with the same level of care and quality of the main building.
- Habitable spaces over garage should be designed to “keep eyes on the alley” – no blank walls. (See Figures 46 and 47).
- Store trash and utilities in enclosures that are architecturally compatible with the project and easily accessible to trash collection trucks.
- Provide sense of security in alley through night lighting and reduction of niches.

Alley condition showing landscaping and habitable spaces over garages



Figure 46 : Row House District - Parking Garages with Habitable Spaces Above

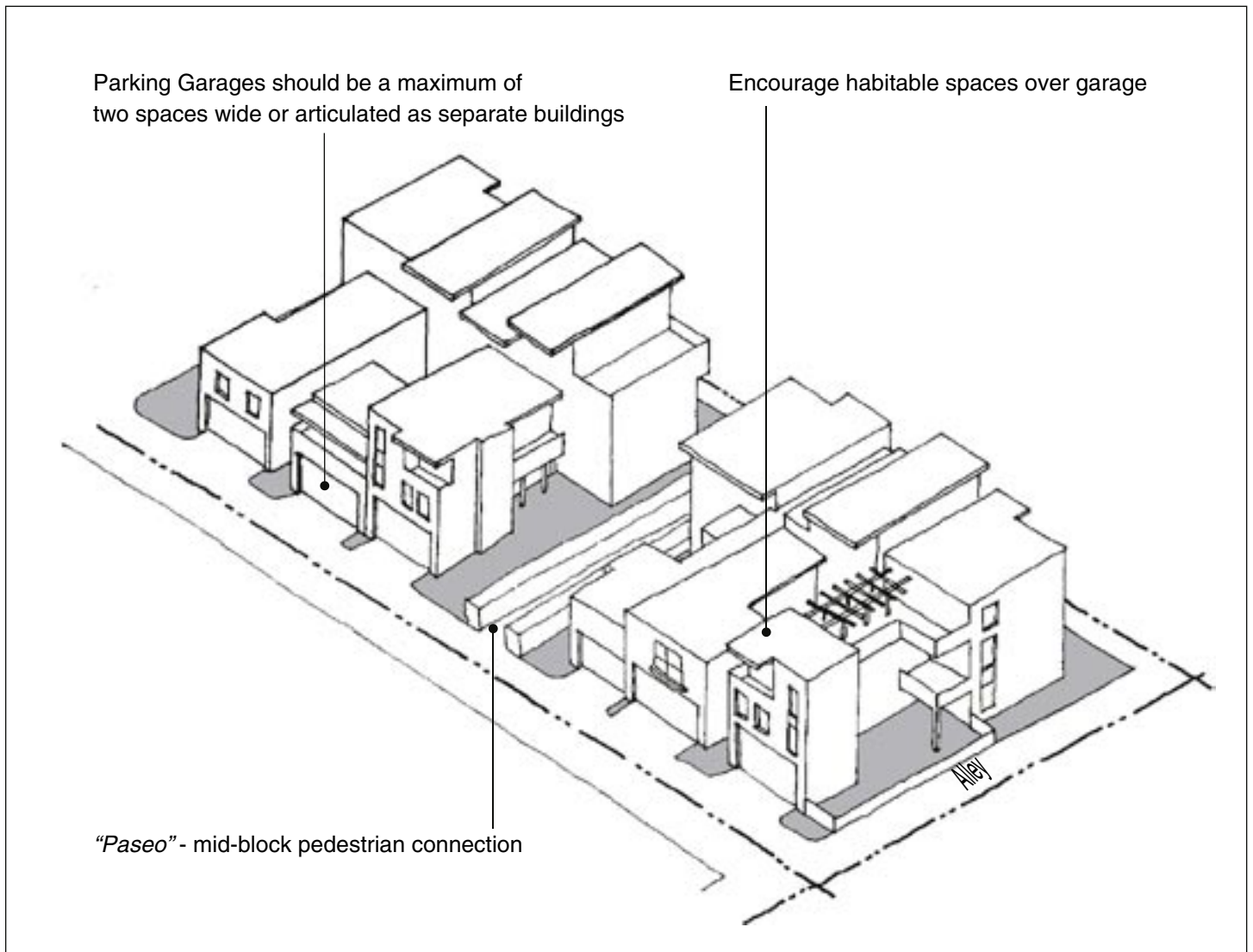


Figure 47 : Row House District - Parking and Alley Conditions

Street Walls (Build-to-Lines)

All streets in Sub Area 2 are encouraged to maintain build-to lines as a traditional feature of “row house” building types. Such build-to-lines should be similar to those required in PD-32 Development Standards for “C” Street.

Landscaped Pedestrian Links (Paseos)

To promote pedestrian connectivity throughout the project, pedestrian “paseos” will be provided. Refer to PD-32 for Development Standards. (See Figure 48).

- Paseos should be landscaped, and inviting to promote pedestrian access (Refer to Landscape Guidelines).
- Privacy between units should be taken into account, while still providing a safe and attractive corridor for public use.
- Paseos should align at alleys, and should be generally located within the middle of the block. Coordination with adjacent blocks is encouraged.
- Special pedestrian lighting should be provided to maintain a safe environment for pedestrians.

Stoops, Entrances, and Porches

Expressed entrances and porches will provide human scale along the street frontage, and will contribute to enhance the character of the streetscape. (See Figure 48).

- Front doors should be visible from street. Subtle variation in entry design is desired in order to maintain a consistent street frontage.
- Every unit shall have a covered front entry. Entry doors should be recessed a minimum of 18 inches from front facade.
- Side entry doors are not appropriate in this building type.
- In selected cases, porches may be included as part of the street frontage. Porches should be designed as an integral part of the massing of the building. Projected porches are discouraged.
- Stoops are encouraged, and should be designed as an integral part of the entry/porch. Free-standing railings are discouraged.
- Porches and railings should be substantial in appearance and integrated into the building architecture. Posts should be at least 6 inches in width (standard framing materials with the nominal dimension will meet the intent of this provision)
- Metal railings may be used when appropriate to a particular design style.

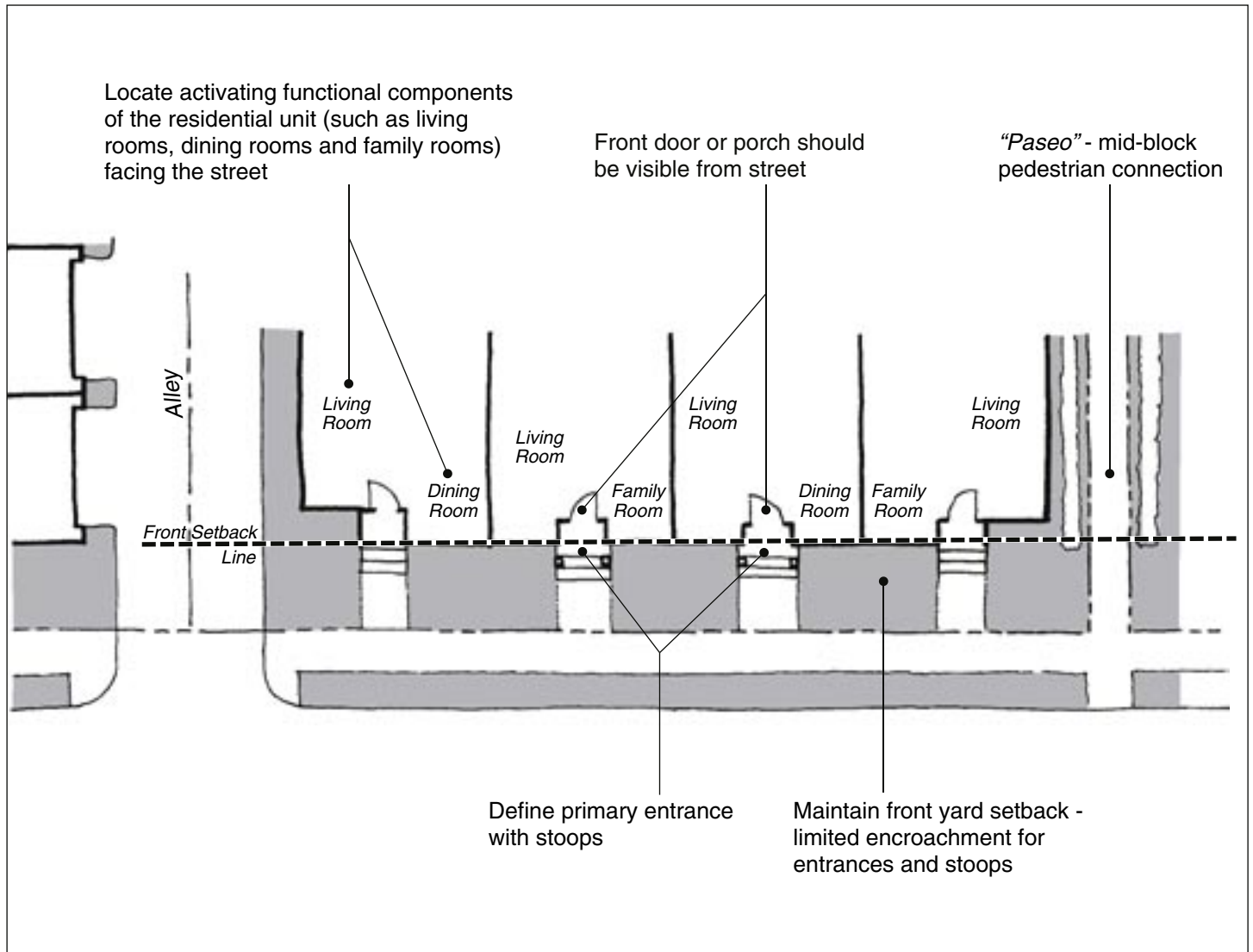


Figure 48 : Row House District - Porches, Entrances and Frontage Conditions

Fenestration

Well designed fenestration will be a key factor in establishing a high quality environment, and will provide for “eyes on the street”.

- Largest window opening should face the street (See Figure 49b).
- Fenestration should be aligned vertically and horizontally between floors and express the architectural and structural qualities of the building wherever possible.
- Fenestration should be used to create depth and articulation on the facade – no flat walls with flush aluminum windows. A minimum 4 inch recess for windows is encouraged.
- Double hung and casement wood windows are preferred. True divide lites are preferred.
- All glazing within the facade should be clear, untinted glass.

Facade Articulation

Form and scale architectural elements will provide human scale, interest, and variation in the streetscape. (See Figure 49).

- All facades of a home, including side and rear facades, should have the same vocabulary of forms, details and materials
- Larger wall and roof planes should include 3-dimensional design features such as chimneys, balconies, bay windows or dormers.
- In this building type, block frontage should be consistent in scale and architectural style. Stoops, porches and balconies should also be consistent.

Roof Form

Roof design is a factor that defines high quality, orderly, and consistent street environments.

- Design of roofs should be consistent with the style of the buildings. Well designed modern interpretations of “row houses” with flat roofs are acceptable.
- Roof forms should be consistent and integrated on all parts of house and garage. For sloping roofs on same unit, all roofs should have a similar pitch. (See Figure 49a).
- Roofs should not be designed as attention-getting devices. Any rooftop mechanical equipment or solar panels should be treated as integral parts of the building or appropriately screened from view.



a : Rowhouses with sloping roof forms and defined facade articulation



b : Contemporary rowhouses showing well-articulated fenestration with large windows facing the street

Figure 49 : Row House District - Facade Articulation and Fenestration

- Roof materials should be compatible with the architectural style of the building. Materials should be of high quality and durable.

Variety of Product/Architectural Styles

To provide a transition between traditional single family homes and multi-family units, development in this sub area should be seen as an opportunity to blend traditional “row house” qualities with modern architectural expression. (See Figure 50b).

- Promote traditional town home qualities and innovative styles (such as lofts) as a form of transition from traditional-style Single Family Dwellings.
- While a variety of unit plan types is desired, block frontages (including those on opposite side of the street) should minimize distinct models in elevation to reinforce typical “row house” environments with consistent facades. (See Figure 50a).
- Each block frontage should have a consistent two story front facade with stepbacks at third stories.(See Figure 50b).

Materials & Color

Materials should convey an image of quality and durability appropriate to an urban environment. They should be able to retain their appearance over time.

- Use a combination of traditional materials such as smooth trowel stucco, brick and stone, with modern materials such as metal panels and glass.
- Changes of wall materials should be integral to the architectural vocabulary of the building forms and not arbitrary or cosmetically applied. Changes in material should generally occur at inside corners, as a return of at least four feet from an external corner, or accommodated through architectural detail such as cap or change in plane.
- Painted surfaces should use colors that reinforce architectural concepts and are compatible with natural materials used in projects.
- Thickness and width of all exterior surrounds and trim pieces should have a direct proportional relationship to the architectural features of the building.



a : Appearance of distinct units minimized to reinforce the block-frontage with a consistant facade



b : Variety achieved with the use of color, materials and fenestration within a consistant architectural vocabulary

Figure 50 : Row House District - Architectural Styles and Massing

Landscape Guidelines

The below criteria are specific requirements related to Rowhouse Residences.

Walls and Fences

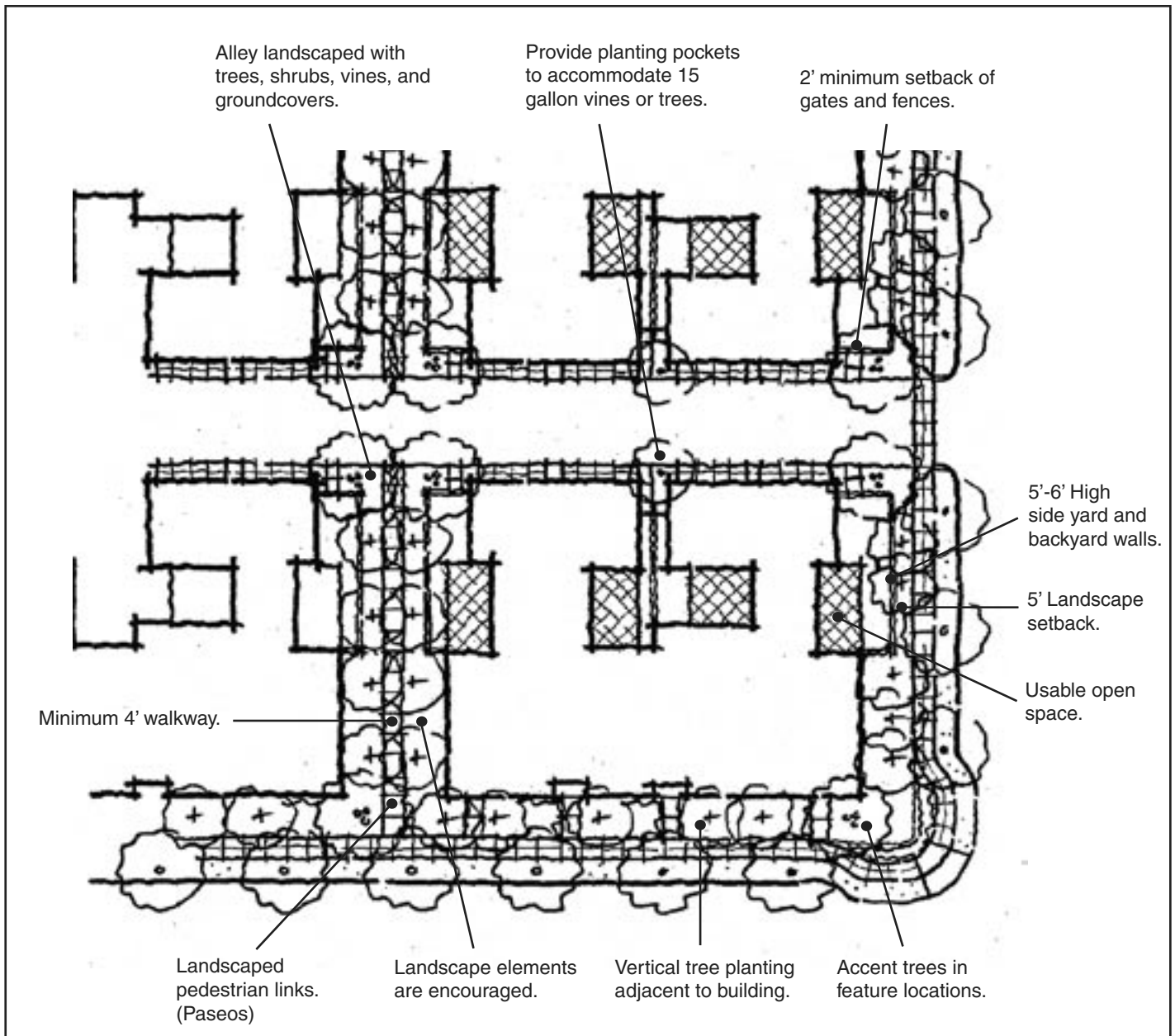
- Retaining walls, if required, should be set back 2' minimum from the back of walk. (maximum height 30").
- Front yard fences and garden walls are not permitted.
- Side yard gates and walls should be setback from building faces. Minimum setback from building face in alleys is 2'. (See Figure 51).
- All side and rear fence walls shall be constructed of masonry. The color and finish shall compliment the adjacent architecture.
- Wood fencing is not permitted for side and rear yard walls.
- Side yard and rear yard walls are to be a maximum of 5'-6" in exposed height except at retaining wall conditions, where grading requires maximum of 8'-6" is permitted. (See Figure 51).
- Side yard walls shall be setback from sidewalk a minimum of 5' at corner lots.

Planting

- Shrubs shall be minimum 10% 15 gallon; 60% 5 gallon; and 30% 1 gallon.
- Alleys are to be landscaped with trees, shrubs, vines, and ground covers.
- Provide planting pockets between garages in alleys to accommodate 15 gallon vines or trees. (See Figure 51).
- Shrub planting areas shall be 3' minimum width.
- Evergreen, deciduous, or flowering accent trees should be installed in feature locations.
- Vertical tree planting is encouraged adjacent to the building architecture. (See Figure 51).
- Refer to plant palette for suggested plant material. (See appendix).

Landscaped Pedestrian Links (Paseos)

- Paseos are to be landscaped to enhance the pedestrian experience.
- Minimum 4' wide sidewalks are to be installed to provide connection from the alley to the public sidewalk. (See Figure 51).
- Trees, shrubs, ground covers, and vines are to be installed to soften architecture.
- Landscape elements such as arbors or garden ornaments are encouraged to enhance the pedestrian experience.



This plan represents a potential design solution. The actual design may vary.

Figure 51 : Row House District - Landscape Plan

Multi-Family Residential Districts (Sub Areas 1, 3, 5 and 6)

Lakewood Boulevard Condominiums (Sub Area 1A)

With the intent of establishing an edge condition that is “urban” in appearance, and appropriate to a major boulevard, and which does not turn its back to the Boulevard but engages it, building heights and “build-to” requirements have been devised to create a strong architectural presence along the easterly border of PD-32. (See Figure 61a). Buildings up to three stories in height with simple building forms and massing as well as basement parking will be appropriate to the character of the Boulevard. Because of noise attenuation considerations, private balconies will not be required for units facing Lakewood Boulevard. This elimination of balconies in lieu of additional common open space is encouraged to promote simple building massing that complements the commercial highway nature of the Boulevard.

Principle building entrances are anticipated to be generally located on local project streets. Although not prohibited, entrances to individual residences are not expected to be located along Lakewood Boulevard. The buildings are intended to be sited to form an urban “edge” upon entering the site from Lakewood Boulevard. Visitor parking is envisioned to be provided on local streets or within facilities provided on site.

Townhomes and Flats Districts (Sub Area 3 and 6)

These districts include an area adjacent to the corner of Carson Street and Lakewood Boulevard as well as land area adjacent to the commercial zones of PD-32. The moderate density of these areas will include pedestrian scaled areas such as courtyards and enhanced common open space, while maintaining individual identity for each residence. The buildings will be predominantly two- and three-stories and are envisioned to be site planned to minimize garage door visibility from local streets. Third story massing will be generally stepped back from street oriented building facades adjacent to lower density uses. Similar to the row-house and single family detached neighborhoods, front doors of individual units are encouraged to orient to public street sidewalks wherever practical in an effort to unify neighborhoods and contribute to pedestrian activity. As these districts are comprised of larger block sizes than is otherwise typical within PD-32, significant building massing breaks, pedestrian scaled building articulation, and the use of meaningful private green spaces should be used to avoid monolithic and otherwise un-broken massing. (See Figure 61b).



a : The condominiums along Lakewood Blvd. shall establish a strong urban presence along the eastern edge of the site



b : An example of the townhomes and flats with their pedestrian-scaled spaces and orientation towards the sidewalk

Figure 52 : Multi-Family Districts - Condominiums, Townhomes and Flats

Golf Course Condominium District (Sub Area 5)

In response to the community-wide view opportunity provided by the adjacent golf course, this district will be designed with buildings that allow golf course views to be enjoyed by residential unit occupants and the neighborhood in general. The building will feature a porous edge with special height and density provisions established for this location. Three story-structures will be permitted adjacent to the golf course while a two-story height limit will be imposed along “5th” Avenue as a transition to adjacent two-story detached districts.

The residential buildings in this district should be designed with specific consideration to the site context: building massing and unit placement should be “resort-like” and oriented to the golf course; generous balconies and verandas should be located along the golf course frontage; special emphasis should be placed on common landscaped areas rather than private yards; and open/ transparent fencing should be used instead of solid walls (See Figure 53). To further assure visual and physical connectivity to the golf course and the bike path, view corridors have been established at “A” Street, “B” Street, and “E” Street. Park improvements at the end of “C” Street will provide a visual opening from the community to the open space. This district may include townhouses with front stoops along “5th” Avenue in combination with the view-oriented condominiums located along the park and golf course edges.



a : The condominiums along the northwest edge of the site will orient towards the adjacent golf-course with generous balconies and openings along this frontage



b : An example of a multi-family residential dwelling oriented towards the adjoining major open space

Figure 53 : Multi-Family Districts - Golf Course Condominiums

Building Orientation

In order to promote traditional neighborhood character, and to reinforce the character and quality of walkable streets, buildings should provide orientation and access toward the street and the parks, and not to be oriented inward.

- Locate primary entrance facing the primary street frontage. (See Figure 54).
- Clearly define the primary entrance through the use of enhanced architectural detail, entry canopies, and building articulation.
- Locate activating functional components of the residential units (such as living rooms, dining rooms, and family rooms) facing the street. Provide “eyes on the streets and parks”. (See Figure 56).
- Corner lots should recognize frontage on both streets.
- All building frontages should be designed with the same level of care and attention to detail.

Site Planning Issues

Projects should be designed as an integral part of the neighborhood and the community, rather than private and isolated enclaves.

- Subterranean parking is the preferred method for storing cars.
- Buildings should frame neighborhood gateways and define community open spaces through the use of architectural features such as towers and setbacks.
- Public, common, and private spaces should be clearly defined and distinguishable. (See Figure 54).
- Promote ground floor units with direct access from the street with stoops and/or patios. (See Figure 54).
- Units should orient towards the street and common areas. (See Figure 54).
- Architectural features such as colonnades, arbors, trellis structures should be used to enhance and positively define usable open space.
- Site entries should contribute to the streetscape, and should be distinguishable through the use of added texture and careful use of contrasting materials.
- Entry drives and access should be coordinated with adjacent projects, and should be placed in such a way to not disrupt pedestrian use of public sidewalks.
- Place vehicular entries away from primary circulation streets. (See Figure 54).

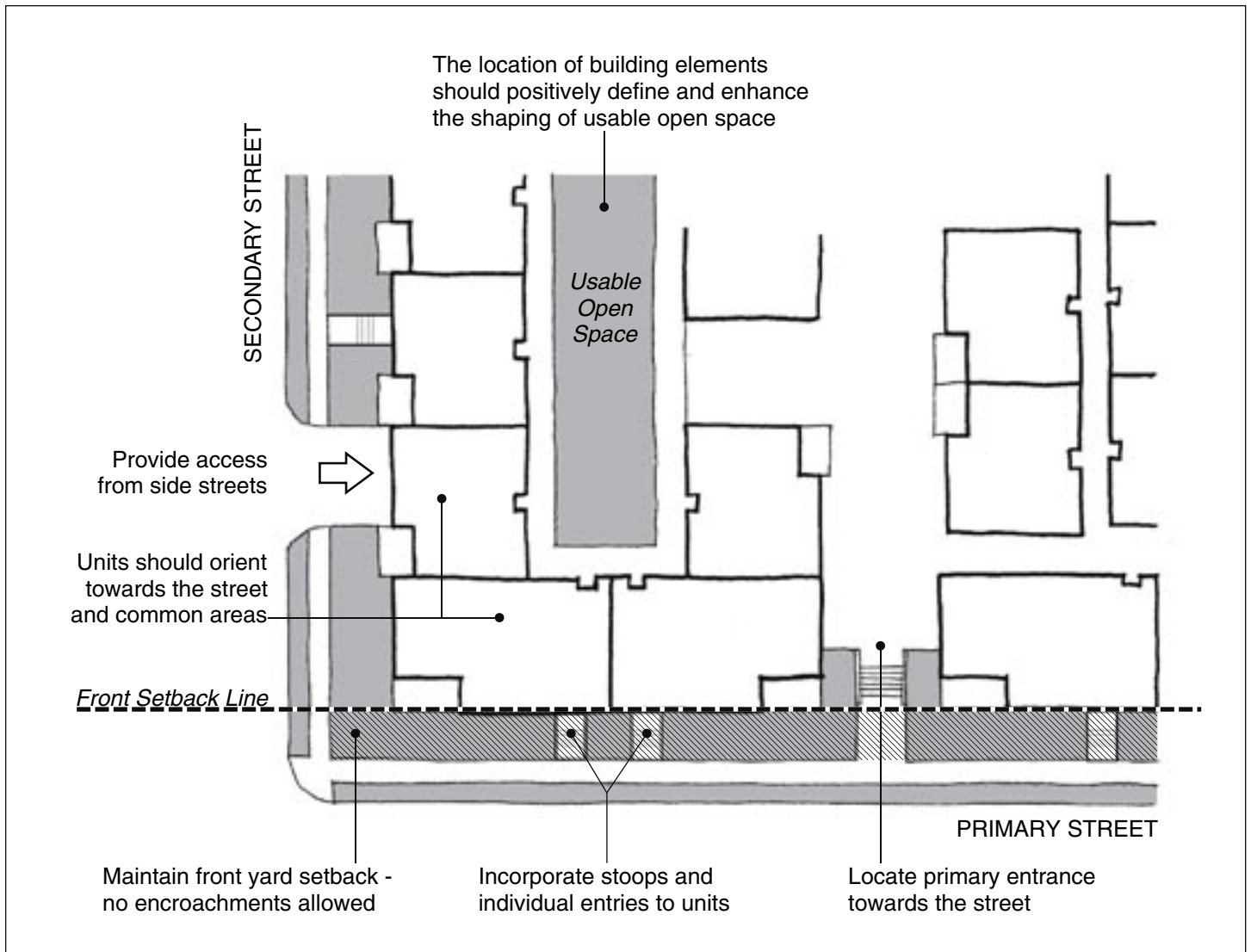


Figure 54 : Multi-Family Districts - Orientation and Site Planning Issues

Parking/ Service

Provide access to parking while maintaining pedestrian friendliness of streets. In addition to being subject to the Off Street Parking and Loading Requirements in Chapter 21.41 of the LBMC, parking design (structured and open lot) should include the following:

- Parking, including open parking lots should be screened by residential units and invisible to the public right-of-way.
- Landscape screening should only be used as a final choice, and not as a primary method of screening parking structures.
- Design parking entrances to be subordinate to main pedestrian entrances and to the overall project image.
- Parking should not disrupt the quality of common spaces and pedestrian environments.
- Distribute parking throughout the site in discrete parking courts or parking structures.
- Services for multi-family developments should not be visible from public areas.
- Store trash enclosures that are architecturally compatible with the project and easily accessible to trash collection trucks. (See Figure 55).
- Conceal utility meters, transformers, and other service elements from public view.
- Semi-subterranean garages and ground level garages should be designed as an integral part of the project, and with the same care and design attention as the buildings they serve. (See Figure 56).



All trash enclosures should be architecturally compatible with the project

Figure 55 : Multi-Family Districts - Trash Enclosures



Residential building over a semi-subterranean garage which is screened from view by landscaping

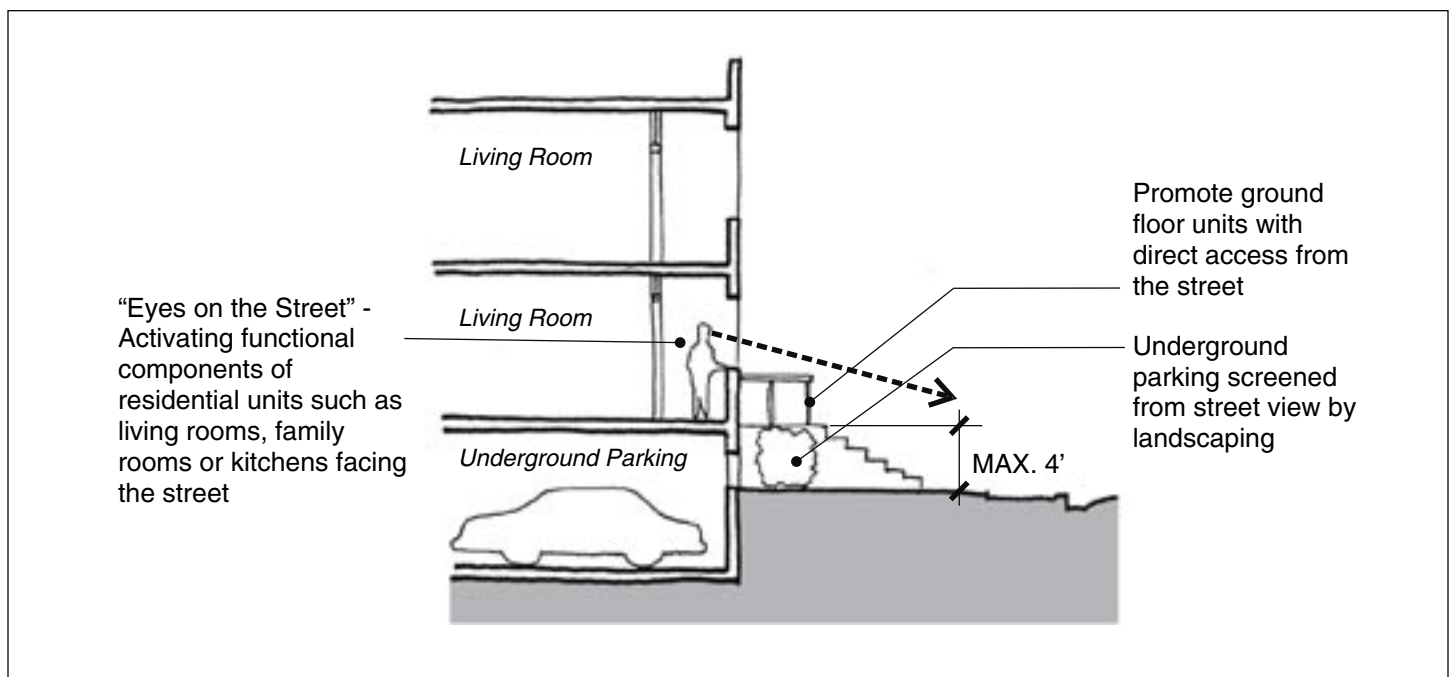


Figure 56 : Multi-Family Districts - Building Orientation and Parking Conditions

Landscaped Pedestrian Links (Paseos)

To promote pedestrian connectivity throughout the project, landscaped pedestrian “paseos” should be provided. (Refer to Figure 57 and Landscape Guidelines).

- Use of mid-block connections to connect projects to parks and pedestrian-serving uses on “F” Street is encouraged.
- Paseos should be landscaped, and inviting to promote pedestrian friendliness.
- Privacy between units should be taken into account, while still providing a safe and attractive corridor for public use.
- Special pedestrian lighting should be provided to maintain a safe environment for pedestrians.



a. Mid-block connections utilized to link housing to parks and pedestrian-serving uses.



b. Paseos are to be landscaped to enhance the pedestrian experience.

Figure 57 : Multi-Family Districts - Landscaped Pedestrian Links (Paseos)

Architectural Design

The design of multi-family projects should be reflective of the commitment to high quality design.

- Multi-family projects should use a unifying vocabulary of forms and architectural elements that reflect a contemporary style. Direct references to historic styles and cosmetic architectural theming should be avoided.
- Projects should provide human scale architectural features such as arcades, texture, and upgraded materials in areas of pedestrian activity.
- Visual interest should consist of articulation of facades, changes in plane, stepbacks, and use of materials. Paint does not constitute articulation. (See Figures 58 and 60).
- Building forms should be articulated by varying roof heights and wall planes integrated with intended internal building volumes and not superficially applied. Unbroken volumes are not permitted. Additional height in certain areas for architectural features such as corner and entrance elements is encouraged.
- Multi-story buildings should have an expressed base, middle and top as part of the architectural composition, as a way to reduce the apparent height and promote pedestrian scale. (See Figure 62).
- Roof forms should be an integral part of the design of the building. Roofs should reinforce the massing of buildings, and the architectural expression of the roof should cover the entire width and depth of buildings. “False Mansard” roofs are not acceptable. (See Figure 59).
- Roofs should not be designed as attention-getting devices.
- Stairways, elevators and similar architectural elements should be integral to the overall architecture – not afterthoughts.

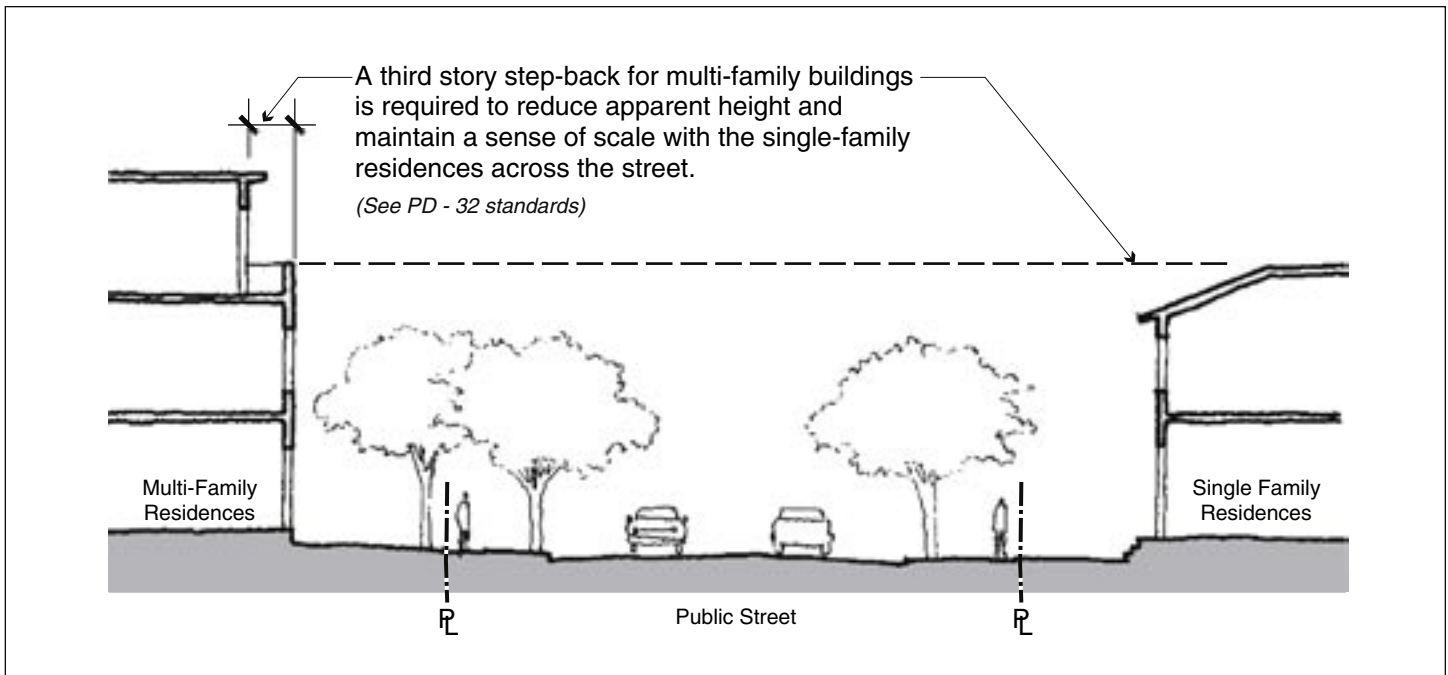


Figure 58 : Multi-Family Districts - Scale Transitions using Step-backs

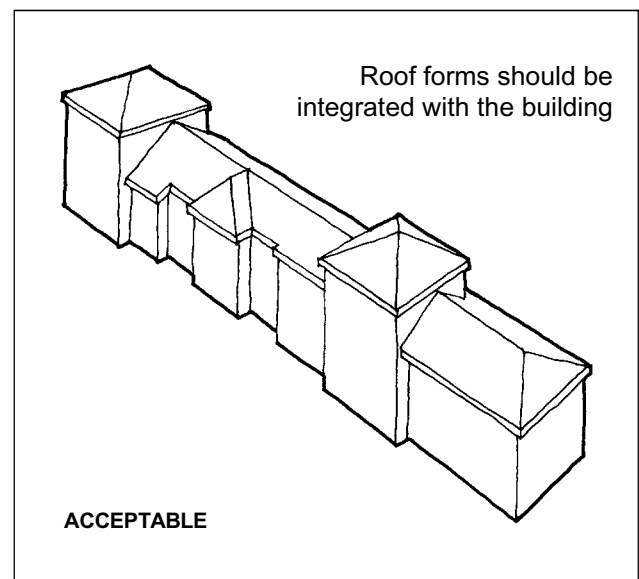
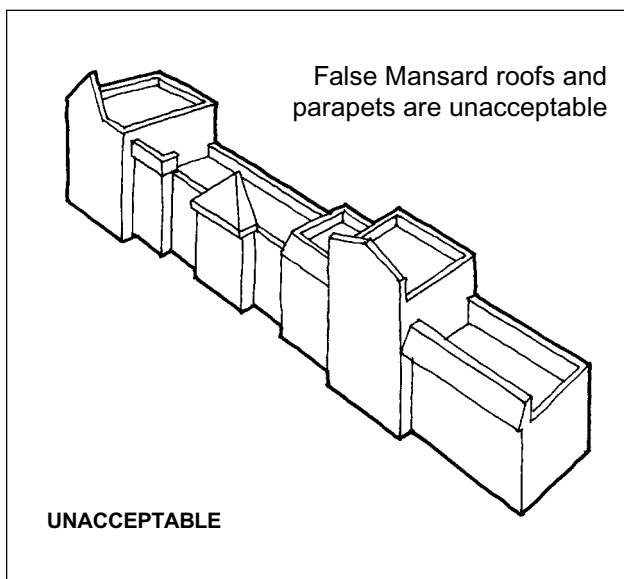


Figure 59 : Multi-Family Districts - Roof Forms



Examples of multi-family residential buildings showing articulated massing and varying roof heights

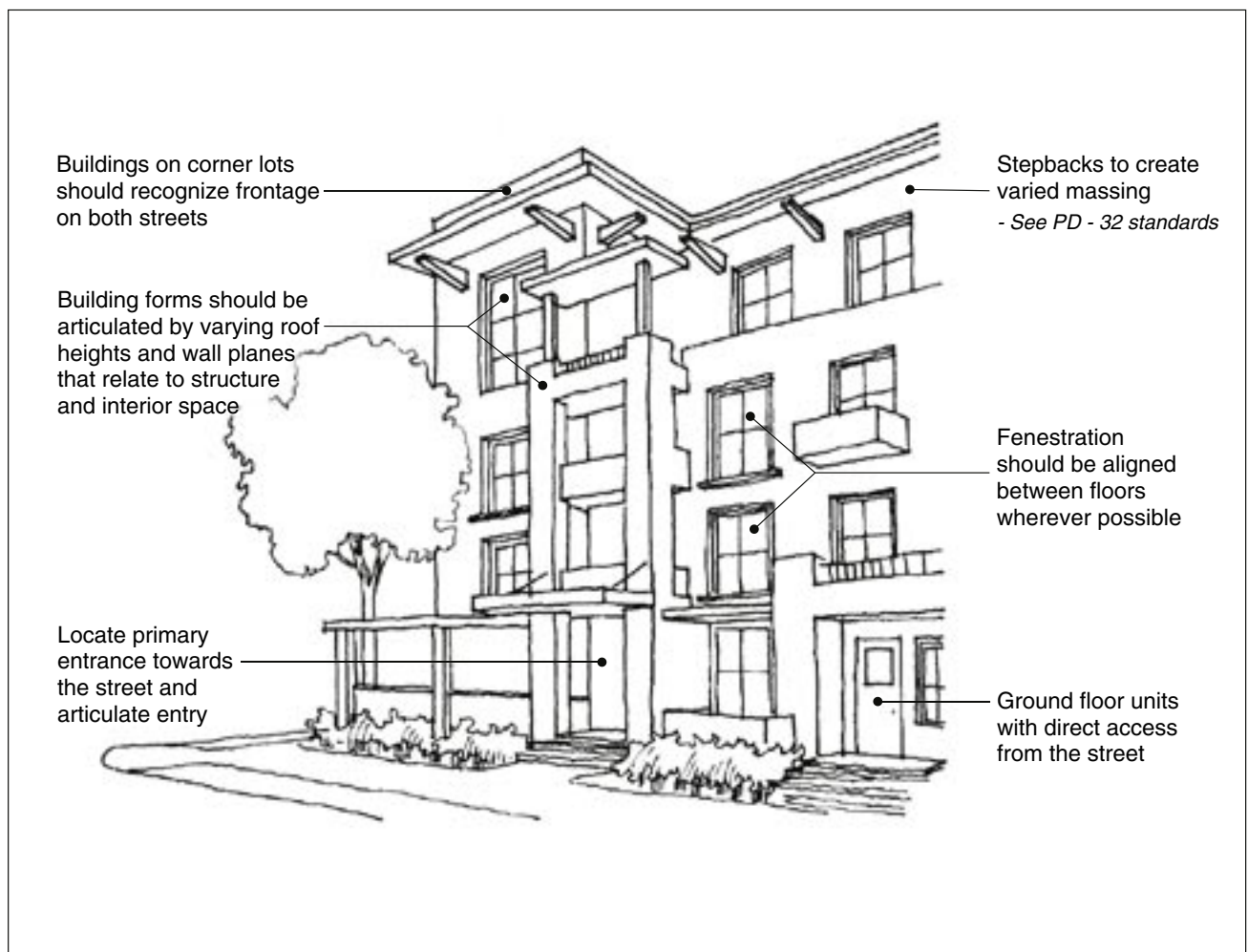


Figure 60 : Multi-Family Districts- Architectural Design Issues

Fenestration

Well designed fenestration will be a key factor in establishing a high quality environment, and will provide for “eyes on the street”.

- Window opening facing the street should have generous proportions and should incorporate a variety of mullion patterns, and bay dimensions to provide visual interest.
- Align fenestration between floors wherever possible. (See Figure 62).
- Fenestration should be used to create depth and articulation on the facade – no flat walls with flush aluminum windows. A minimum 6 inch recess for windows is encouraged.
- All glazing within the facade should be clear, untinted glass.
- Effort should be made to maximize light into units. Use of narrow corridors for fenestration is not desirable.
- Design fenestration to accommodate passive solar and ventilation goals.

Balconies & Patios

Where appropriate, these architectural elements should contribute to the overall architectural composition, and should not be placed in an opportunistic manner. (See Figure 61).

- They should be oriented towards streets and common open spaces.
- Balconies should be oriented to maximize sunlight access.
- Balcony railings should be made of high quality materials that compliment the architectural composition and style. Utilitarian and inherently inexpensive railings are not acceptable.



Patios and balconies should contribute to the overall architectural character of the building

Figure 61 : Multi-Family Districts - Patios & Balconies

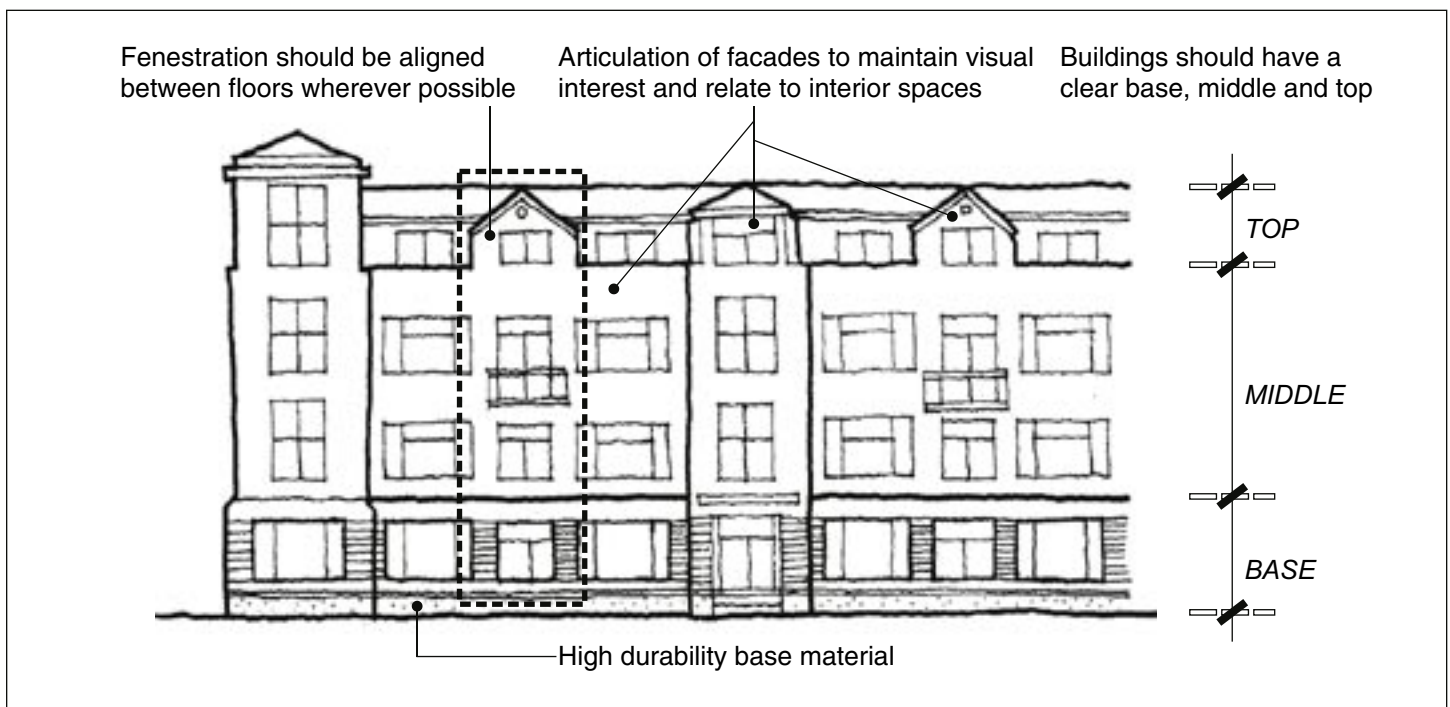


Figure 62 : Multi-Family Districts - Facade Articulation and Fenestration

Materials & Color

Materials should convey an image of quality and durability. They should be able to retain their appearance over time.

- All of the facades should use the same palette of materials and colors.
- A combination of traditional materials such as smooth trowel stucco, brick and stone; along with modern materials such as high-quality metal panels, precast concrete and glass should be used to promote a contemporary character to the neighborhood. Simulated materials, foam cornices and applied details are not allowed.
- In general, use more urban durable materials at busier street locations.
- Use of alternative materials to stucco is greatly encouraged to promote diversity.
- Where a variety of wall materials is used, changes in material should generally occur at inside corners, as a return of at least four feet from an external corner, or accommodated through architectural detail such as caps or change in plane. (See Figure 63).
- Painted surfaces should use colors that reinforce architectural concepts and are compatible with natural materials used in projects.
- Thickness and width of all exterior surrounds and trim pieces should have a direct proportional relationship to the architectural features of the building.

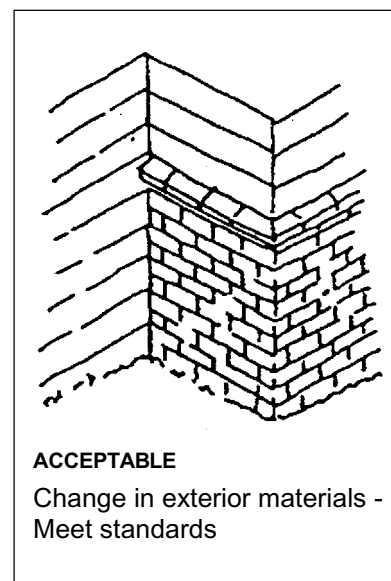
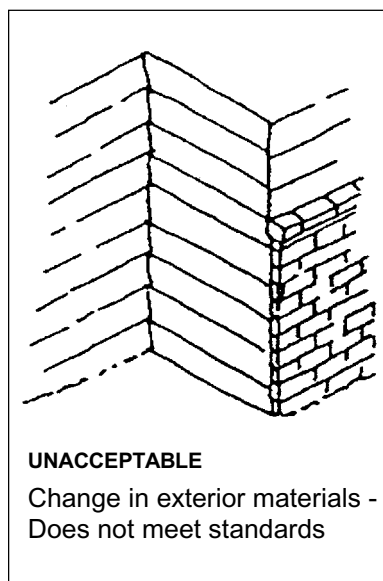


Figure 63 : Multi-Family Districts - Change in Materials

- Windows and doors should be made of quality materials. Vinyl and plastic materials should not be used as the norm.
- Painted surfaces should use colors that reinforce architectural concepts and are compatible with natural materials used in projects.

Landscape Guidelines

The below criteria are specific requirements related to Multi-Family Residences.

Walls and Fences

- Retaining walls, if required, should be set back 2' minimum from back of sidewalk.
- Garden walls and fences are permitted for private patio spaces only and shall be low in height. (maximum 3'-6"). Minimum setback is 5' from back of sidewalk. (See Figure 64).
- Wall alignment should vary. Continuous runs of walls are not permitted.
- Tubular steel fencing is permitted around recreational uses. Chain link is not permitted.



Low garden wall for private patio space.

Figure 64 : Multi-Family Districts - Wall and Fence Image

Planting

- Minimum soil depth for on-structure planters is 30”.
- Shrubs shall be minimum 10% 15 gallon; 60% 5 gallon; and 30% 1 gallon.
- Common area tree planting shall be minimum 25% 24” box; 75% 36” box; 48” box accents.
- Minimum tree size is 36” box for trees planted on structure.
- Turf should be limited to large usable open spaces. (minimum 150 sf).

Usable Open Space (common areas)

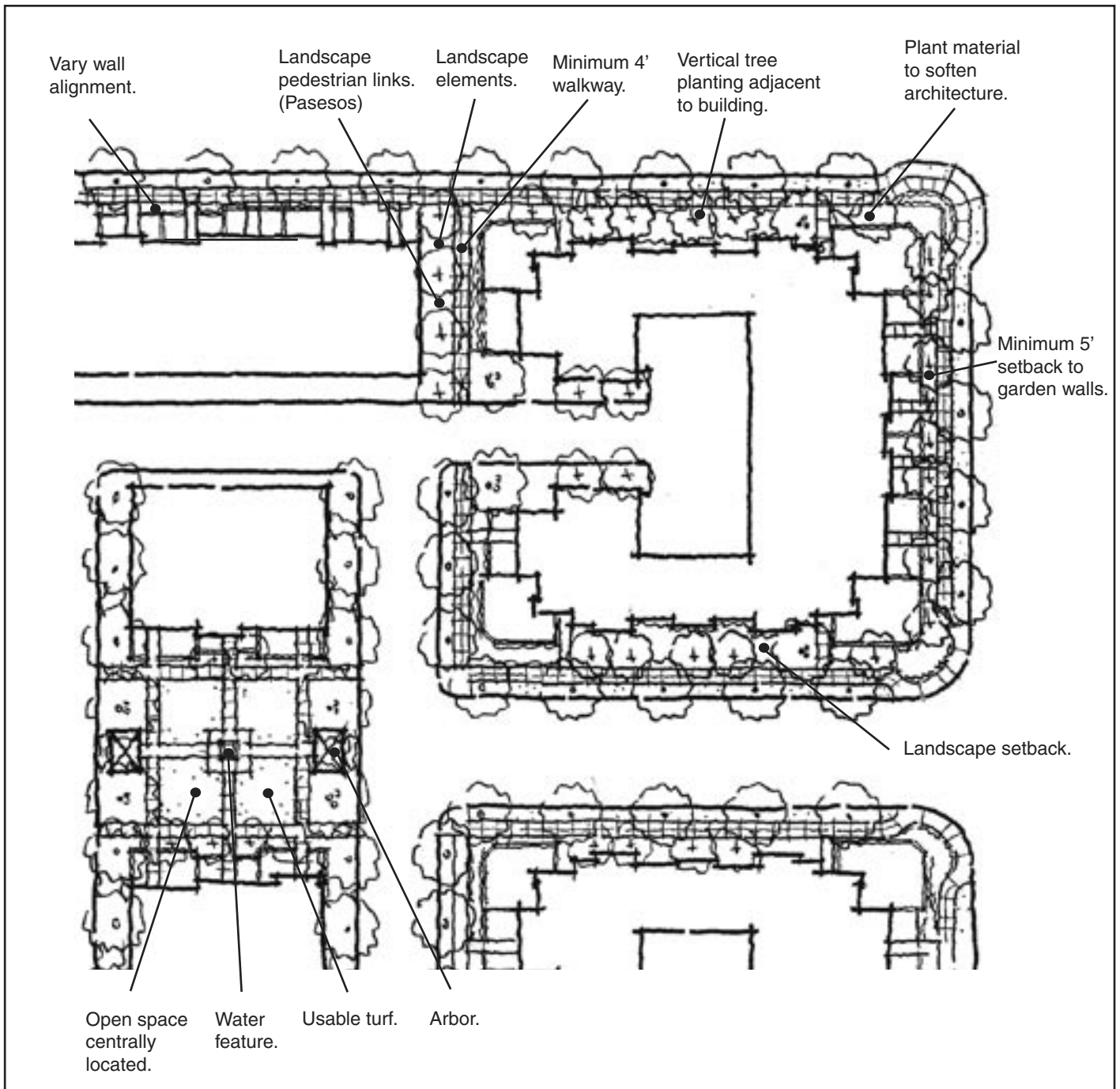
- Usable open space should be centrally located and connected to pedestrian system.
- Amenities, such as, fountains, swimming pools, and spas are encouraged. (See Figure 65).
- Enhanced paving is encouraged to promote a quality space.
- Spaces should be designed to encourage social gatherings.
- Usable lawn areas are encouraged. (See Figure 65).
- Landscape elements such as site furnishings, arbors, or garden ornaments are encouraged to strengthen the character of the space.

Landscaped Pedestrian Links (Paseos)

- Paseos are to be landscaped to enhance the pedestrian experience. (See Figure 65).
- Minimum 4’ wide sidewalks are to be installed to provide connection from the common space or alley to the public sidewalk or from the street to the Class I bicycle path.
- Trees, shrubs, ground covers, and vines are to be installed to soften the architecture.
- Landscape elements such as arbors or garden ornaments are encouraged to enhance the pedestrian experience (Refer to Figure 57 b).
- View corridors are to be maintained to golf course adjacent to 5th Street.

Parking Area Landscape

- Parking areas are to be screened from off site views with walls, shrubs, and mounding.
- Evergreen canopy trees are to be planted to provide shade coverage.
- Utilities and trash enclosures are to be screened with trees, shrubs, and vines.
- Trash enclosures shall be screened from upper story views with trellis.
- All planter areas are to receive shrubs and/or groundcovers.



This plan represents a potential design solution. The actual design may vary.

Figure 65 : Multi-Family Districts - Landscape Plan

division IV
mixed use overlay zone guidelines

MIXED USE OVERLAY ZONE GUIDELINES (Sub Area 1B and 7)

Mixed Use Residential (Sub Area 1B)

The “Mixed Use Gateway Street” (“F” Street) is intended to create a “Main Street” character featuring retail and other pedestrian-serving land uses at street level. These mixed-use buildings are permitted to feature the highest residential densities and tallest residential structures within the project area, and are envisioned as an urban edge that includes build-to-edges that stimulate pedestrian activity, and promote the location of amenities and neighborhood gathering places for business and residents alike. Ground floor spaces are encouraged to include tall structural floor to floor heights to further promote the viability of commercial uses through enhanced signage opportunities and appropriate interior volumes within lease spaces.

The architectural and urban design character for this district should be non-uniform, and should include varied architectural scale and rhythm through the use of restrained massing relief; variety of ridge lines and parapet heights; and variety of materials and colors to create the desired feel of a village center.



Figure 66 : Mixed Use District - Residential over Street-Level Retail

Mixed Use Commercial District (Sub Area 7)

Located at the southern interface of the mixed-use gateway street, this district is envisioned to include a variety of commercial uses designed to contribute to the “main street” pedestrian activity in this location.

Although primarily intended for retail uses, this district may include other uses such as office, hospitality, athletic clubs, restaurants and community facilities. Store-front architecture is strongly encouraged along the two-block mixed-use zone. Multi-level buildings featuring ground floor retail uses with office or additional commercial activity above are preferred (See Figure 67). Build-to lines will be mandated to assure the urban design experience of this zone. Step-backs will be required to relieve vertical massing. Building scale should be designed to complement adjacent mixed-use residential improvements. A variety of heights, architectural styles, materials and colors may be permitted.

Pedestrian-serving commercial activities including retail, restaurants, hospitality and general office space are strongly encouraged within development areas immediately south of the mixed use gateway street. These areas should feature pedestrian linkages and building placement and orientation that will encourage connections to adjacent residential and commercial development to further enliven the area. The density and heights of proposed buildings within this district are permitted to be of the greatest intensity within PD-32 in an effort to further create the fabric of an active urban center.

Commercial development activity fronting “F” Street west of Second Street is anticipated to include less urban patterns. The street section in this area includes a median in addition to parkway landscaping to provide a degree of separation between the proposed land uses. Such uses as “research and development” facilities, light industrial and distribution need not adhere to build-to principles and may be designed with parking facilities adjacent to “F” Street in order to achieve greater setbacks. Site planning concepts for such commercial uses should be sensitive to locations of service docks and other such activities in order to reduce impacts to adjacent residential neighborhoods.



Figure 67 : Mixed Use District - Streetscape Images

Ground Floor Uses

In order to seek and reintroduce building types that have made traditional American neighborhoods convenient, walkable, and attractive; the mixed use zone is envisioned as a place where shops and other pedestrian-oriented uses address the street and are accessible from it. (See Figure 69).

- Locate the primary entrance for all ground level uses from “F” Street directly.
- Maximize storefront glazing and openness. (Refer to PD-32 standards for Display/Clear Window Requirement as well as Figure 68 below).
- Vacant spaces shall have store-front displays which conform to a city-approved decorative window display program. No blank windows or back-painted glass shall be allowed.
- “Shadow” art galleries, historical displays, artist studios, back office uses or sales offices may be allowed as temporary transitional uses.
- Eye-level displays, outdoor seating and special wall treatment to enhance visual interest and pedestrian-area vitality are desired.
- Common amenities should not be located along ground floor commercial areas. Instead, uses such as health clubs are ideally suited to second floor view area overlooking street. Ground floor should be maximized for commercial and pedestrian-serving uses.

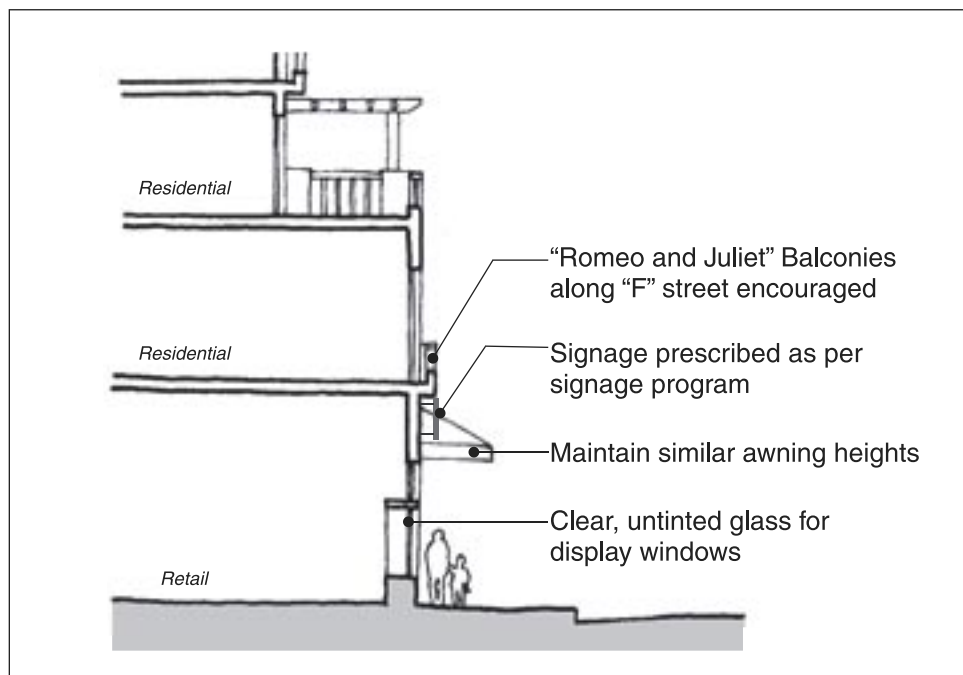


Figure 68 : Mixed Use District - Street Frontage Character



Figure 69 : Mixed Use District - Ground Floor Uses

- Residential uses above the ground floor should be shielded from illuminated commercial signs.
- Minimum floor to floor height for ground level uses will be 16 feet to provide meaningful usable space. Mechanical equipment and other systems should be designed to provide a minimum ceiling height of 12 feet.
- Outdoor dining, kiosks, benches and other street furniture are encouraged to enhance street activity and interest.
- Conform signage to LBMC Standards. Encourage blade signs and other pedestrian-oriented types of signage

Massing & Form

“Main Streets” are characterized by the aggregation of multiple buildings and facades rather than the development of monolithic structures.

- Variations in massing are encouraged, but they should relate to structural systems and interior space and not be cosmetically applied.
- False fronts and parapets are not permitted.
- Required stepbacks should be used to create varied scale and massing at upper levels. (See Figures 70 and 71).
- Special building massing elements such as towers should be used to highlight and frame street gateways. (See Figures 70 and 71).
- Corner architectural features such as clock towers are encouraged at the intersection of “F” Street with Lakewood Boulevard and “2nd” Avenue. (See Figures 70 and 71).

Fenestration

Frequent entrances and display windows help establish visual and functional connections to the public street, and create an active walking environment.

- Maximize storefront glazing and openness.
- A minimum of 60% of the linear length of the façade fronting “F” Street should contain display windows and entrances.
- Clear, untinted glass should be used throughout.

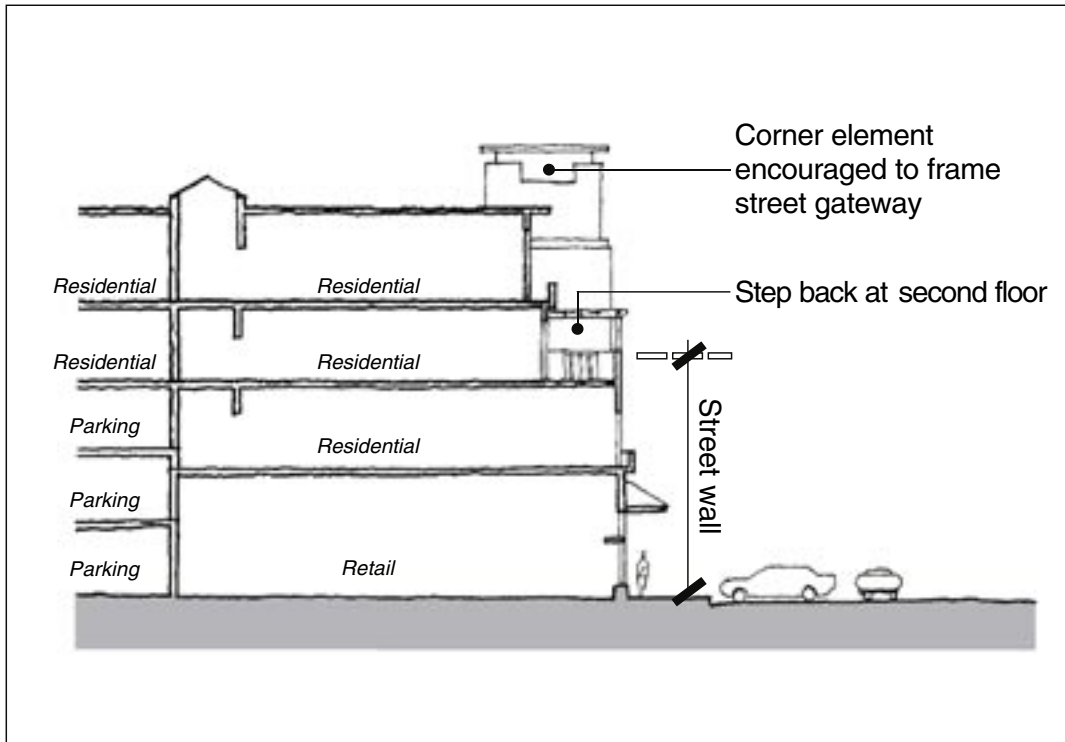


Figure 70 : Mixed Use District - Use and Massing Issues

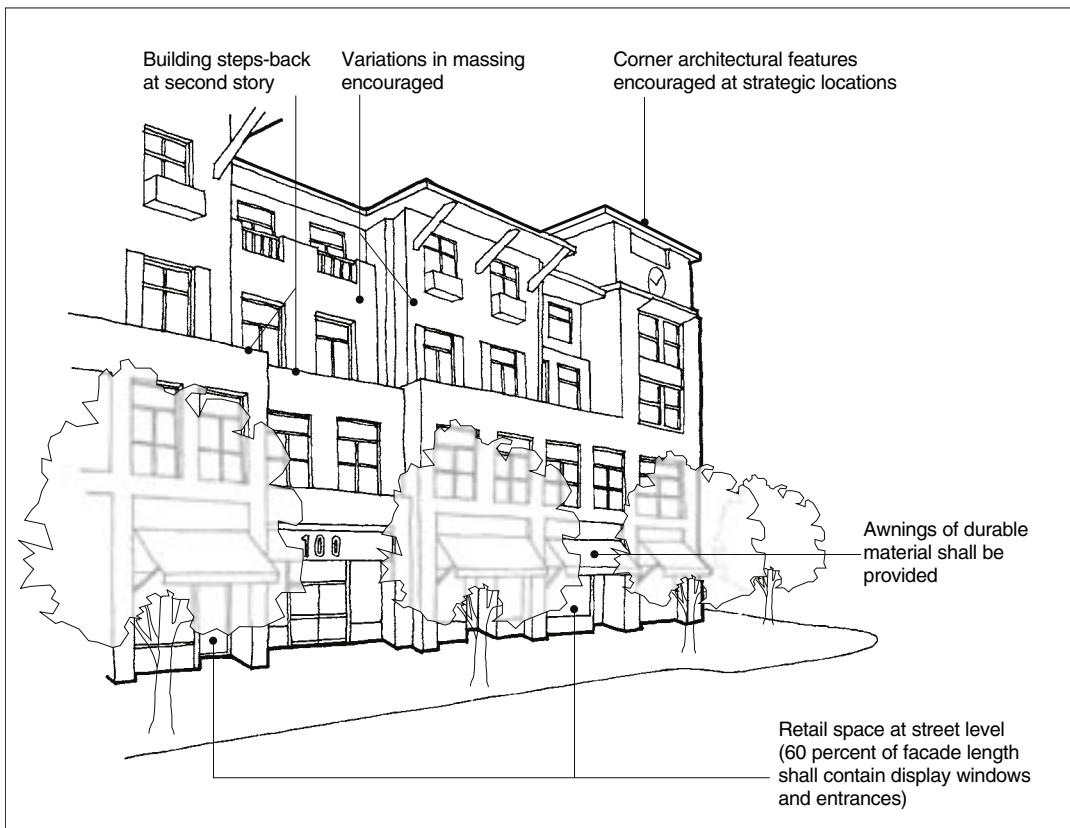


Figure 71 : Mixed Use District - Massing, Facade Treatment and Fenestration

- Illuminate display windows at night to encourage pedestrian-area vitality.
- Security grilles should be avoided. In exceptional cases, and only through site plan review, such grilles will be accepted provided that they are architecturally interesting and are placed inside the building behind the display areas. (See Figure 68).
- Metal and/or glass canopy elements are encouraged. (See Figures 68 and 71). If provided, fabric awnings should be made of durable commercial grade fabric or other similar material with a single color matte finish. Awning supports should be coated metal or other non-corroding material.

Facade Treatment

- Differentiate ground level facade from upper levels.
- Large expanses of storefront glazing and display are encouraged on the ground level. Solid elements such as piers and columns should include richly textured materials such as stone, tile, and upgraded masonry to enhance pedestrian scale. (See Figure 72).



Figure 72 : Mixed Use District - Facade Treatment & Fenestration Conditions

- Along the north side of “F” Street, upper residential use levels should have design features that accommodate residential uses but also relate to the more commercial nature of the street. The building should not read as one building type over another and it should avoid overly articulated facades.
- The facade of the commercial uses above the ground floor on the south side of the street should avoid monumental and monolithic treatment – compatibility with the residential buildings across the street is desired.

Parking/Service

Provide access to parking while maintaining pedestrian friendliness and walkability.

- Parking should be screened and invisible to the public right-of-way.
- Separate access and parking facilities should be provided for residential and commercial uses.
- Parking structure entrances from secondary streets should be designed to be subordinate/ secondary to main pedestrian entrances and to the overall project image.
- Parking should not disrupt the quality of common spaces and pedestrian environments.
- Service areas should not be visible from public areas. Separate service areas including delivery, trash and recycling should be provided for residential and commercial uses.
- Trash should be stored in enclosures that are architecturally compatible with the project and easily accessible to trash collection trucks.
- Utility meters, transformers, and other service elements should be concealed from public view.
- Semi-subterranean garages and ground level garages should be designed as an integral part of the project, and with the same care and design attention as the buildings they serve.
- Loading areas and service facilities should be located as far as possible from residential units and should be completely screened.
- Parking structure lighting should be appropriately shielded so as not to spill over into residential uses.

Landscape Guidelines

Landscape is minimized in this zone to promote an urban character. The intent is to reinforce the “Main Street” character of the mixed use zone.

Landscape guidelines that apply to the Mixed Use Overlay zone areas are as follows:

Paving

- Enhanced paving, such as architectural concrete, is encouraged to promote an urban character. (See Figure 73a).
- Colors and finishes shall relate to the building architecture and adjacent streetscape paving.
- Encouraged materials include: colored and textured concrete, pavers, and stone.
- Finishes imitative of other materials, such as, stamped concrete are discouraged.

Planting

- Potted plants with an “main street” urban character are encouraged.
- Planting areas, other than tree wells, on grade with trees, shrubs, and ground covers are discouraged to promote an urban character.

Maintenance

The intent of the maintenance guidelines are to encourage a safe, clean, and healthy condition at all times.

- Trees should be maintained to allow for proper light distribution of adjacent light standards.
- Maintenance such as weeding, fertilization, mowing, pruning, light fixture maintenance, irrigation system maintenance, and trash removal shall occur on a regular schedule.
- Light fixture maintenance and trash removal shall occur on a regular schedule.
- Dead or poorly performing potted plant material is to be replaced once it is discovered.
- Graffiti shall be removed or painted out within in 24 hours.

Screening

Screening of visually undesirable objects is required. These items should be integrated into the building/site design and not addressed as afterthoughts. Careful design consideration should be taken into account to prevent hidden areas from encouraging criminal activity. Lighting should be installed in these areas. The below items must be screened from off site views:

- Mechanical equipment such as air conditioners.
- Equipment such as backflow preventers and controllers.
- Utilities such as transformers and meters.
- Trash containers.
- Parking areas and parking garages.



Enhanced paving, such as architectural concrete, is encouraged to promote an urban character.

Figure 73 : Mixed Use District - Paving Images

Exterior Lighting

The intent of the lighting criteria is to provide safety while enhancing the night time urban character.

- Lighting should be provided at all building entrances.
- Glare should be minimized.
- Architectural detail and landscape accent lighting is encouraged to create identity for mixed use zone.
- Exposed fixtures should be selected to relate to the associated building architectural character.
- Building accent lighting is encouraged to create a pedestrian friendly evening ambiance to the street.

Signage

The intent is to promote an urban character through quality sign design and materials. Signage shall be designed in context of adjacent architecture and the “Main Steet” charachter of the mixed use overlay zone. Signs which are visualy “loud” are discouraged. Signs must comply with the minimum standards set forth in the Long beach Municipal Code (LBMC Section 21.44).

A sign program shall be created for the mixed-use area to address the following issues:

- Sign compatibility with residential uses
- Pedestrian orientation
- Quality signage with a “boutique” character
- Sign materials and method of of illumination

division V
commercial/industrial guidelines

COMMERCIAL/INDUSTRIAL GUIDELINES (Sub Areas 7 and 8)

Mixed Use Commercial District (Sub Area 7)

Refer to the guidelines specified in Division IV: Mixed Use Overlay Zone Guidelines which apply to those parcels fronting the southern edge of “F” Street.

Commercial Gateway District

Located at the southerly entrance to PD-32 from Lakewood Boulevard, the “Commercial Gateway Street” (“G” Street) is designed to constitute a primary “address” street for the commercial development zone. This four-lane road with enhanced parkway landscaping is envisioned to extend commercial traffic and identity into portions of the site that are currently inaccessible from local roadway patterns.

Buildings located adjacent to “G” Street should orient to and build to the setback line to create an urban character. Development parcels near Lakewood Boulevard are anticipated to include buildings with the greatest level of height and intensity. If parking structures are proposed within project- specific developments, views from public streets should be screened.

Primary or secondary access to building lobbies is encouraged to link directly to public roadways in order to promote pedestrian activity. In addition to holding visual continuity along “G” Street, buildings should be clustered to form plazas and other such semi-public spaces to add relief and interest to the overall streetscape.

Commercial District

Development activity in the commercial areas west of Fourth Street shall include a range of uses. Public streets with parkways and sidewalks will continue the urban design patterns initiated in other portions of the site. Building heights are expected to decrease in magnitude in these areas. Truck docks and service activity should be buffered from view through landscaping and building orientation.

Orientation

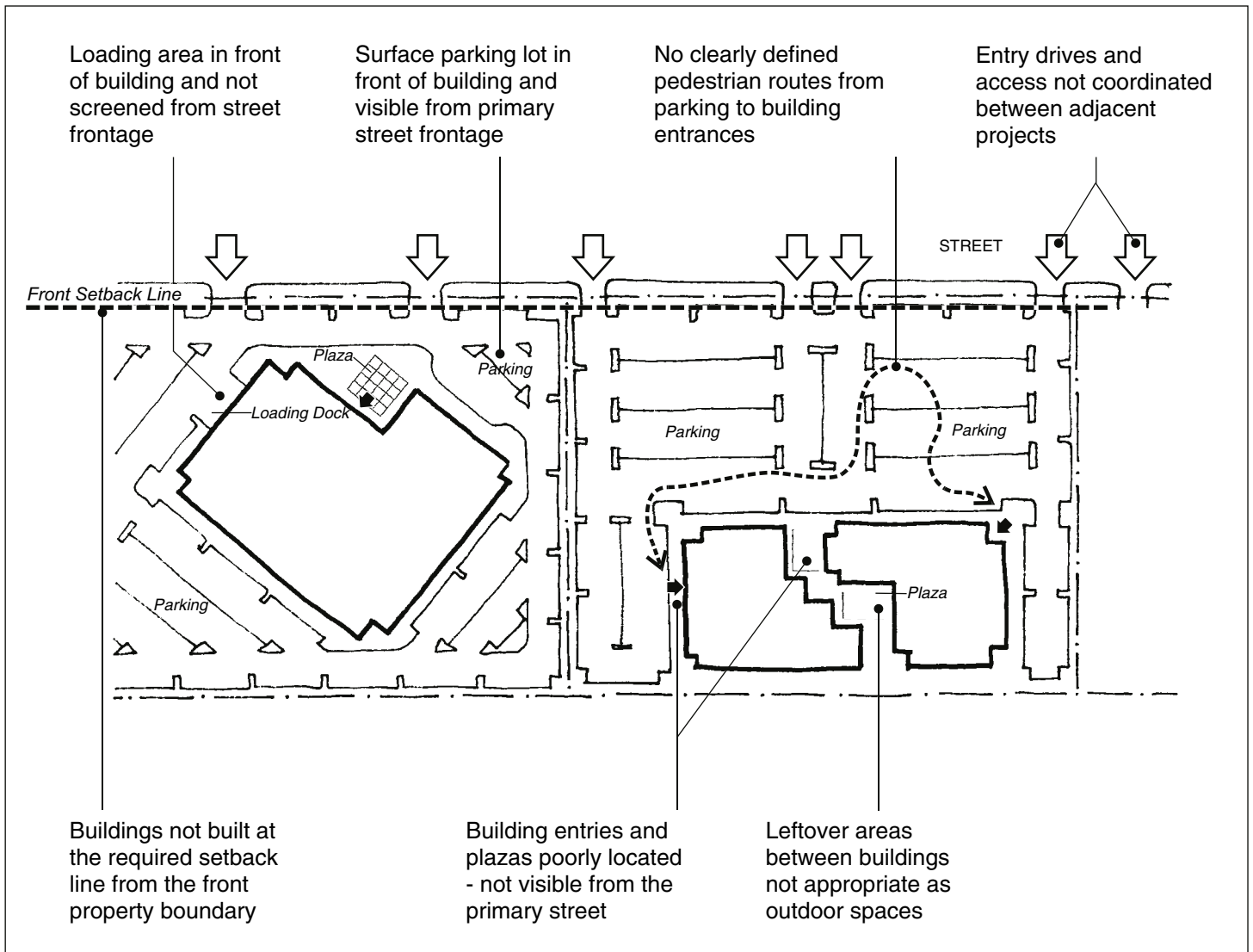
Buildings throughout the commercial and industrial areas should strive to reinforce the public street edges, rather than creating building islands surrounded by parking. (See Figures 74 and 75).

- Orient front building facades parallel to the street, and directly at the required setback line of the front property line in order to reinforce the street edge. (See Figures 74 and 75).
- Locate building entries, plazas, and pedestrian-oriented uses along the primary streets. (See Figure 75).
- Spaces between buildings should be used as outdoor rooms and should not be thought as leftover areas. Frame public gathering spaces and other usable spaces by buildings.
- Multiple buildings on a site should be clustered around a common landscaped open space to avoid unorganized sprawl.
- On commercial buildings locate outdoor eating areas/café seating for employees along public streets or in courtyard settings that reinforces the public realm.

Access

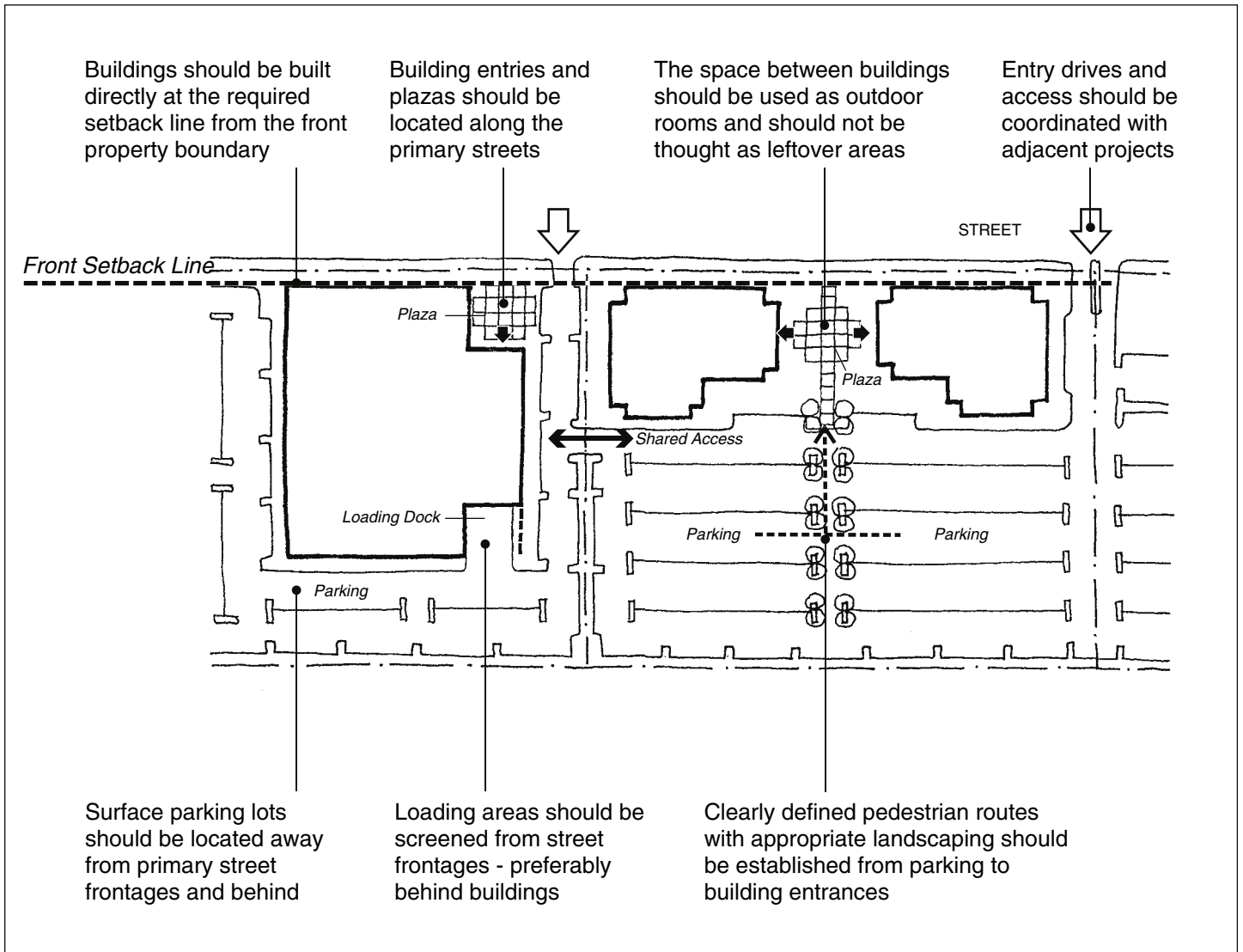
Provide access to parking while maintaining pedestrian scale and walkability.

- Car and pedestrian entries to a site should be separated, and clearly defined. Pedestrian walkways should be a minimum of 4 feet clear and should be protected from driveway by a 6 inch curb.
- Entry drives, and internal driveways should be located to reinforce the public street grid. Meandering driveways and internal roads are not desirable.
- Coordinate entry drives and access ways with adjacent projects in order to minimize disruption of landscaped street edges, and conflict with pedestrian use of sidewalks. (See Figure 75).
- Clearly define pedestrian routes from parking to building entrances by special landscaped walkways – pedestrian crossing of parking aisles should be minimized. (See Figures 74 and 75).
- Provide direct access from side streets to building entryways.
- In order to promote walkability, pedestrian linkages to the retail section of “F” Street should be provided.



UNACCEPTABLE

Figure 74 : Commercial Districts - Access, Orientation and Site Planning (Undesirable Conditions)



ACCEPTABLE

Figure 75 : Commercial Districts - Access, Orientation and Site Planning (Desirable Conditions)

Parking / Service Areas

Parking and service areas should be designed as integral parts of building they serve, and should be located to minimize visual impacts from the public right-of-ways.

- Parking lots should not be the dominant visual element of the site. Parking should be broken down in smaller multiple lots separated by landscaping and buildings.
- Relegate parking to the rear and side of buildings. (See Figures 74 and 75).
- Parking aisles or spaces should not directly abut a building - provide a 4 feet wide minimum pedestrian walkway.
- Screen parking lots and garages from primary streets and residential neighborhoods by proper site planning, and secondarily through the use of landscape screening. (See Figure 76).
- Appropriately shield parking lighting so as not to spill over into residential uses, or other adjacent uses.
- Design parking lighting to preclude direct glare of lights onto adjoining properties or streets. (See Figure 76).
- Do not locate loading facilities at the front of buildings. Such facilities are more appropriate at the rear of the site. (See Figures 74 and 75).
- Loading areas should not be visible from public streets. Screening should be complete and should be integrated with the design of the building. (See Figure 77).
- Screen loading facilities through a combination of solid masonry walls and landscaping. (See Figure 77).
- Avoid placement of utility elements along the front setback. When transformers are unavoidable in the front setback area, they should be placed underground or screened by walls/landscaping – access to such utilities should be integrated as part of the screening strategy.
- Shared parking with parks and other public uses is encouraged.

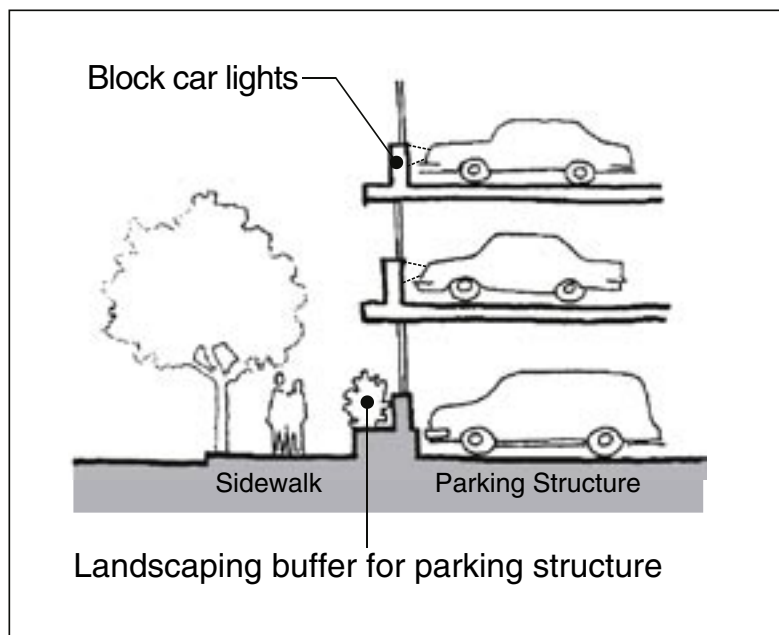
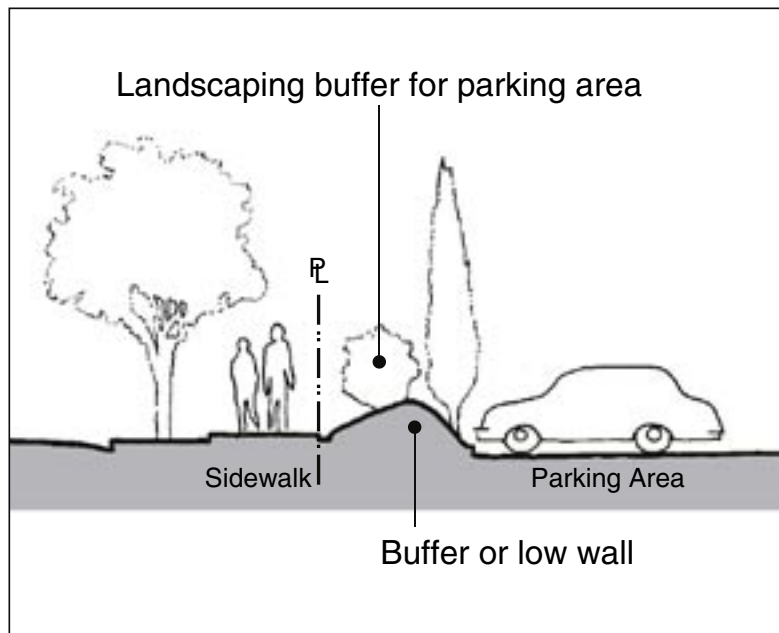


Figure 76 : Commercial Districts - Screening Parking from Public View

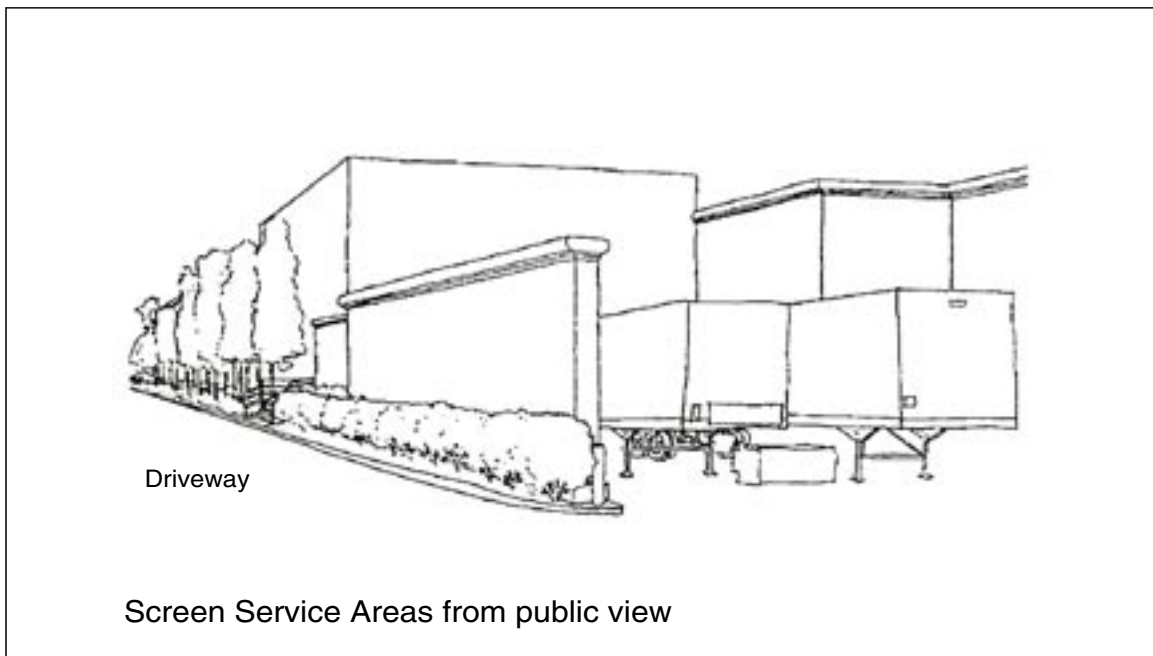
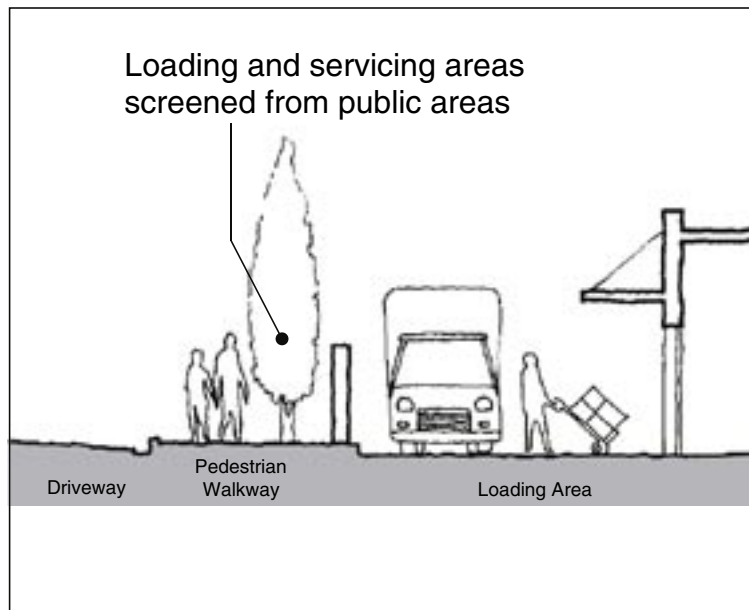
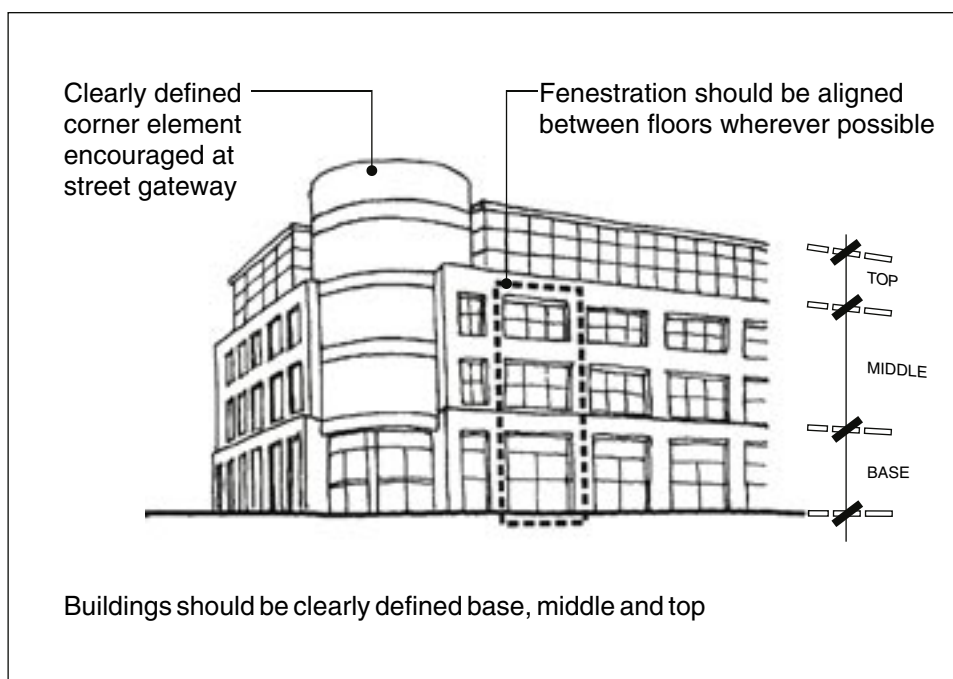


Figure 77 : Commercial Districts - Screening Service Areas from Public View

Architectural Design

While there is no specific architectural style being promoted by these guidelines, a commitment to lasting and durable buildings is a primary intent. The history of the place as an aircraft manufacturing site should also be used as a source of inspiration in terms of a modern architectural vocabulary.

- Projects should use a unifying vocabulary of forms and architectural elements that reflect a contemporary style.
- Building entrances should be clearly defined and articulated. (See Figure 80).
- Projects should provide human scale architectural features such as arcades, texture, and upgraded materials in areas of pedestrian activity.
- Courtyards, arcades and intimate spaces as a way to break down mass are encouraged.
- Visual interest should consist of articulation of facades, changes in plane, stepbacks, and use of materials. Paint does not constitute articulation. (See Figure 80).
- Facades wider than sixty feet (60') should be designed with a modular expression that breaks the facade scale to a width of thirty feet (30') or less.
- With the exception of warehouse buildings, unbroken volumes not desirable.



Visual interest should consist of articulation of facades, changes in plane, stepbacks, and use of materials.

Figure 78 : Commercial Districts - Building Massing

- Articulate building forms by varying roof heights and wall planes in a way that is integral to a building's interior volumes and structure. Additional height in certain areas for architectural features such as corner and entrance elements is encouraged.
- Buildings above four stories should have an expressed base, middle and top as part of the architectural composition, as a way to reduce the apparent height and promote pedestrian scale. (See Figure 78).
- Roofs should not be designed as attention-getting devices. Simple, roofs are encouraged.
- Stairways, elevators and similar architectural elements should be integral to the overall architecture – not afterthoughts.
- The appearance of doors and windows are critical elements in the design of buildings. High quality materials, proper placement and the use of recesses should be included in the selection and design of such elements.
- Screen all mechanical equipment for the building with architectural screening elements at least as high as the equipment being screened.
- Hide mechanical equipment on the roof by building elements that are designed as an integral part of the building architecture. Avoid materials and design elements that will result in contrast with the rest of the building. (See Figure 79).

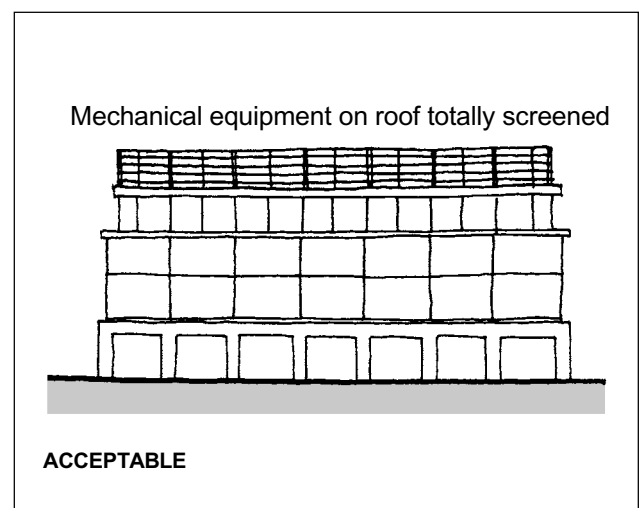
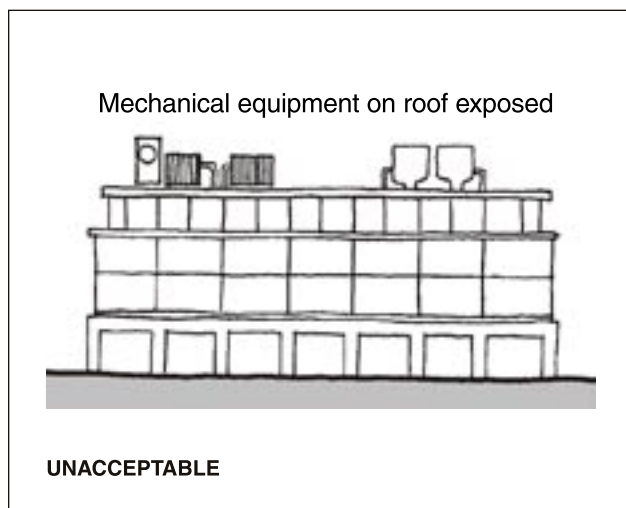


Figure 79 : Commercial Districts - Screening Rooftop Mechanical Equipment



a : Unbroken building volumes with no articulation are discouraged



b : Building forms articulated by varying heights and wall planes with clearly defined entrances are encouraged.

Figure 80 : Commercial Districts - Architectural Design and Facade Articulation

Materials & Color

Extreme contrasts in materials, colors, shapes and other characteristics which will cause buildings to stand out in excess of their public importance should be avoided.

- Materials that contribute to good quality architecture are: natural stone, smooth stucco with light finish, architectural concrete with integral color, fully backed metal panels, wood and brick accent. Metal and wood windows and doors should be architectural quality.
- Simulated materials and foam cornices and applied details are discouraged.
- Building entrances should be clearly defined and articulated. (See Figure 82).
- Provide upgraded materials in areas of pedestrian activity to promote human scale.
- Building colors should avoid primary colors. Larger buildings should use more subtle colors, and architectural accent should rely on changes in materials rather than paint.
- Minimize use of stucco on commercial buildings.



Courtyards, arcades and intimate spaces as a way to break down mass are encouraged

Figure 81 : Commercial Districts - Architectural Character

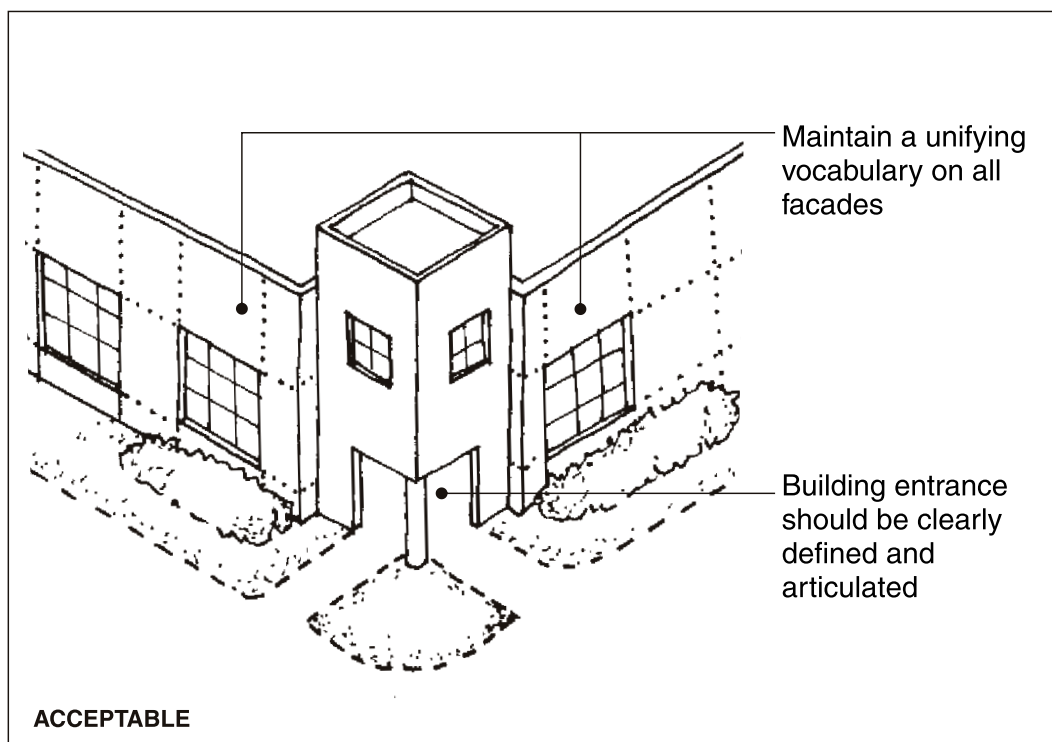
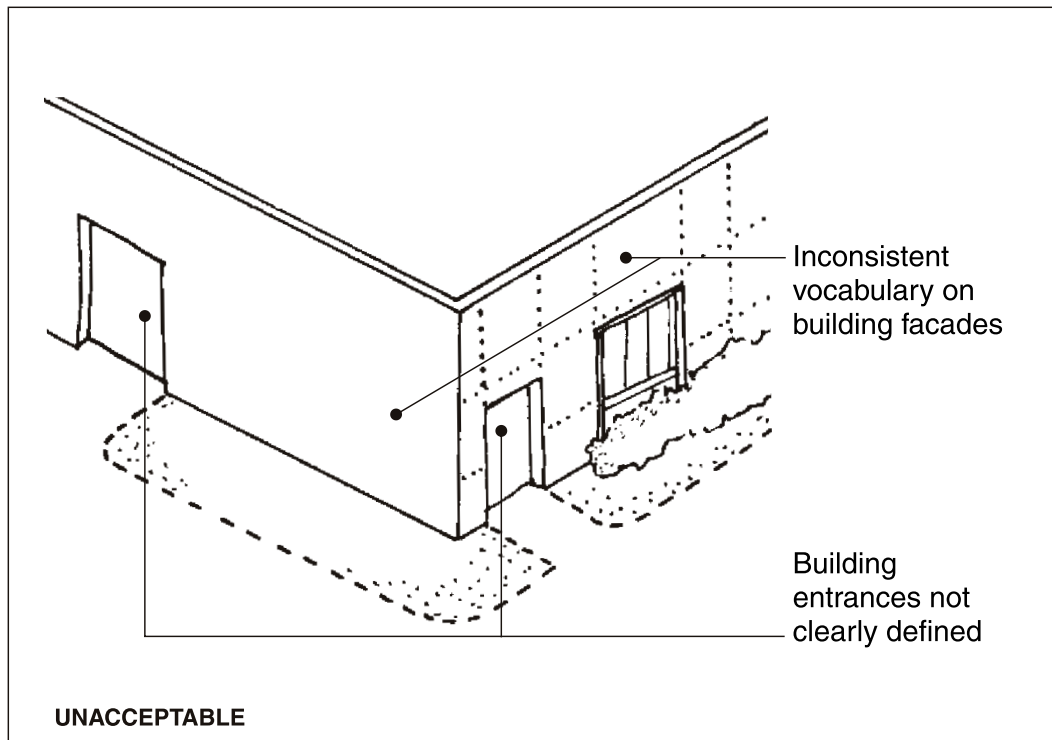


Figure 82 : Commercial Districts - Facade Treatment and Fenestration

Landscape Guidelines

Landscape in the commercial zone plays an important role in establishing the quality and character of Douglas Park. The intent of these guidelines is to promote a unique and cohesive landscape for all of Douglas Park while supporting the architecture and land uses associated with the commercial zone.

Landscape guidelines that apply to the Commercial/ Industrial zone areas are as follows:

Walls and Fences

- Walls, fencing, retaining walls shall be constructed of material, finish, and color complimentary of the building architecture.
- Wood fencing is not permitted.
- Seat walls are encouraged in usable open space areas.
- Retaining walls shall not exceed 4'-0" if visible from any off-site area.

Paving

- Paving should enhance the relationship of the building and landscape. (See Figure 83a).
- Enhanced paving, such as architectural concrete, is encouraged to promote an urban character. (See Figure 83b).
- A hierarchy of varying paving materials is encouraged.
- Finishes imitative of other materials, such as, stamped concrete are discouraged.



a : Paving should enhance the relationship of the building and landscape.



b : Enhanced paving, such as architectural concrete, is encouraged to promote an urban character.

Figure 83 : Commercial Districts - Paving Images

Site Furnishing

- Site furnishings should compliment the character of the architecture.
- Moveable site furnishings are encouraged in usable open space areas. (See Figure 84).

Moveable site furnishings are encouraged in usable open space areas.



Figure 84 : Commercial Districts - Site Furnishings

Irrigation

The intent of the irrigation criteria is to encourage efficient use of water resources while maintaining the character of the commercial area.

- All landscape areas are to be irrigated by a permanent automatic irrigation system.
- Irrigation design shall incorporate environmental considerations such as: plant material, sun, shade, soils, wind, and percolation rates.
- Moisture sensing and rain shut off devices are encouraged.
- Above ground irrigation devices such as backflow preventers and irrigation controllers are to be completely screened from off site views.
- Valve boxes are encouraged to be located in planting areas.
- Reclaimed water shall be used except where prohibited by code.
- Irrigation systems should be designed considering pedestrian safety and property damage.

Planting

- Planting design shall consider the ultimate size of the plant material.
- Planting design should complement the architectural style, scale, and density of the adjacent buildings.
- Buildings are encouraged to receive continuous shrub foundation plantings except in locations where glazing is present.
- Evergreen trees shall be the predominant material and should be used to screen and soften architecture.
- Evergreen, deciduous, and flowering trees may be used as accents. Evergreen material is encouraged.
- Flowering perennial and shrubs are preferred over annual color. Annual color should be reserved for accent areas only.
- Planting which requires low amounts of supplemental water is encouraged.
- Planting design shall consider water usage and maintenance needs.
- Building perimeter tree planting shall be minimum 25% 24" box; 75% 36" box; 48" box accents.
- Shrubs shall be minimum 10% 15 gallon; 60% 5 gallon; and 30% 1 gallon.
- Shrub and ground cover masses are required in setback areas.
- Turf should be limited to large usable open spaces. (minimum 150 sf).
- Ensure planting does not interfere with site lighting to ensure proper light coverage.
- Refer to the Plant Palette for suggested plant material. (See appendix).

Usable Open Space

- Usable open space such as courtyards and plazas are encouraged.
- Spaces should be designed to encourage social interaction.
- Landscape elements such as: fountains, public art, shade structures, seat walls are encouraged.
- Site furnishings such as: benches, bicycle racks, and table and chairs are encouraged.
- Enhanced paving is encouraged to promote a quality space.
- Usable lawn areas are encouraged.

Maintenance

The intent of the maintenance guidelines are to encourage a safe, clean, and healthy condition at all times.

- Trees should be maintained to allow for proper light distribution of adjacent light standards.
- Maintenance such as weeding, fertilization, mowing, pruning, light fixture maintenance, irrigation system maintenance, and trash removal shall occur on a regular schedule.
- Dead or poorly performing plant material is to be replaced once it is discovered.
- Graffiti shall be painted out within in 24 hours.
- Pruning shall insure that all signage remains visible.



Shrub hedges and tree massings screen parking areas and parking garages.



Shrub hedges and tree massings screen parking areas and parking garages.

Figure 85 : Commercial Districts - Screening Parking Areas

Screening

Screening of visually undesirable objects, such as utilities and parking areas, is required. Methods of screening may include masonry walls, overhead trellis, and landscape planting of evergreen material. (See Figure 85). These items should be integrated into the building/site design and not addressed as afterthoughts. Careful design consideration should be taken into account to prevent hidden areas from encouraging criminal activity. Lighting should be installed in these areas. The below items must be screened from off site views:

- Loading and service areas.
- Mechanical equipment such as air conditioners.
- Equipment such as backflow preventers and controllers.
- Utilities such as transformers and meters.
- Trash receptacle storage.
- Parking areas and parking garages.



Architectural detail and landscape accent lighting is encouraged to create project identity.

Figure 86 : Commercial Districts - Exterior Lighting

Exterior Lighting

The intent of the lighting criteria is to provide safety while enhancing the night time character of Douglas Park.

- Lighting shall be provided at all building entrances.
- Glare is not permitted to shine off site, all fixtures shall be shielded.
- Architectural detail and landscape accent lighting is encouraged to create project identity. (See Figure 86).
- Exposed fixtures should be selected to relate to the associated building architectural character.
- All fixtures shall be shielded or zero cut off.
- Lighting design shall consider pedestrian and vehicular use.
- Human scale fixtures are encouraged in pedestrian areas.
- Pedestrian connections from parking areas to building entrances shall be lit to provide orientation and safety.
- All fixtures shall be automatically controlled.
- Service area lighting shall only be visible within in the service area.
- Building addresses shall be lit.

Signage

The intent is to promote a high quality commercial character through sign design, method of illumination and materials. Signage shall be used in context of adjacent architecture. Signs which are visually “loud” are discouraged. Signs must comply with the minimum standards set forth in the Long beach Municipal Code (LBMC Section 21.44).

If a project involves five or more signs, the developer should apply for a sign program.

Additional Hotel Guidelines

Hotels are quasi-residential uses that relate in scale to multi-family residential buildings, but have specific requirements that should be taken into account to avoid conflicts with adjacent uses.

- Hotel design should avoid thematic architecture.
- Design buildings as a project that contributes to the urban character of the neighborhood. Design of an isolated enclave is not desirable.
- If located on “F” Street, the building must follow the design guidelines in the Mixed-Use Overlay Zone.
- All sides of the building should be consistent in style and quality of design. Avoid “back door” look. (See Figure 87b).
- The primary presence along the major street front should be the building and the drop-off, not the parking. (See Figure 87a). Locate the parking at the rear of the building.
- Parking, delivery and loading should be fully screened and invisible to the public.
- Parking and loading location should not disrupt pedestrian movement or impact privacy of guests.
- To insure privacy of guests, recreation facilities such as a pool should be located to avoid being heard or seen by the adjacent residents or public in general.
- The scale and design of the building should relate to its context. Stairways, corridors and other circulation systems should not be exposed to view, and should be integral to the design of the building.
- Balcony railings should be made of high quality materials that compliment the architectural composition and style. Utilitarian and inherently inexpensive hollow metal or pipe railings are not acceptable.
- Central air conditioning units should be used. Individual room units are not acceptable.



a : The primary presence along the major street front should be the building and the drop-off, not the parking.



b : All sides of the building should be consistent in style and quality of design. Avoid “back door” look.

Figure 87 : Hotel - Urban Character

Additional Business Park Guidelines (Office/ Light Industrial)

The following guidelines seek to achieve a well-planned and high quality environment, and to ensure compatibility between commercial/ industrial development and the proposed community character.

- Each project should be designed to carefully fit into its surroundings to contribute, rather than dominate the character of the area.
- Auxiliary structures associated with industrial buildings such as utility and storage buildings, should be compatible and integrated into the overall design.
- If walls are not required for specific screening and/ or security purposes, they should be avoided. Walls should be kept as low as possible while performing their function.
- Walls should be designed so they are compatible, and an extension of the buildings associated with the project. Avoid the “compound” look.
- Long expanses of walls and fences should be articulated to prevent monotony. The maximum length of an un-articulated wall should be 30 feet, and the minimum articulation in plan should be 6 inches in depth and 2 feet in width.
- Architectural elements that are strongly discouraged include: traditional historic references; large blank/ flat surfaces; exposed concrete block walls; exposed roof drains; un-articulated box like structures.
- Combination of materials is encouraged to achieve visual interest. Avoid monolithic and monochromatic structures.
- Warehouse and light industrial buildings should avoid blank walls facing public streets - locate administrative offices, breakrooms and uses that require windows, entries and human activity towards the street.
- Roofs are a critical element in the design of industrial buildings. Rooflines should include variations to avoid long continuous planes.
- Brightly colored and highly reflective roof surfaces, including exposed galvanized metal and illuminated roofing materials are discouraged.
- Metal buildings are appropriate only when they are designed to have an exterior appearance that conveys the same high quality of conventional structures. Stock, “off-the-shelf” metal buildings are strongly discouraged.
- Light, neutral colors should be used in light industrial buildings to help reduce their perceived size. Changes in materials for trim pieces are encouraged for visual interest. Paint should not be used as a method of achieving visual interest.



a : Buildings should have a clearly defined main entrance



b : Locate uses that require windows and entries towards the street

Figure 88 : Business Park - Architectural Character

